

CHATHAM COUNTY PURCHASING DEPARTMENT

ADDENDUM NO. 1 TO BID NO. 13-0107-4

FOR: CLOVERDALE COMMUNITY CENTER

PLEASE SEE THE FOLLOWING FOR ADDITIONS, CLARIFICATIONS AND/OR CHANGES:

NOTE: Please see the following attached REVISED Plan Sheets :

C13- MISC DETAILS - 111213

CL-A-0- REVISED 11-19-13

CL-A-1- REVISED 11-19-13

CL-A-2- REVISED 11-19-13

CL-A-3- REVISED 11-19-13

CL-A-4- REVISED 11-19-13

CL-A-5- REVISED 11-19-13

NOTE: Please see the attached Division 7 Technical Specifications:

07200 Icon CMU Inserts (2 sheets)

07610 Sheet Metal Roofing (4 sheets)

See attached Civil Engineering REVISED plan sheets:

C-5, C-7, C-9, C-10, C-12 & L-1

- 1. Drawings C-5, C-7, C-9, C-10, C-12 & L-1 have been revised as indicated by revision clouds as shown on attached drawings.**
- 2. Asphalt concrete and aggregate base for road construction shall conform to Section 02200 "Earthwork", and Section 02600 "Pavement" of the standard City Technical Specifications with regards to material, installation and testing requirements. Note that all site construction shall conform to City standards.**
- 3. Disregard note on Drawing C-4 which reads " Matchline, see detention basin modifications, Dwg C13". No detention basin modifications will be required.**
- 4. Water meters (meter only) shall be provided and installed by the City of Savannah.**
- 5. The contractor shall coordinate the schedule and duration of any disruption of water or sewer service to the Butler Elementary Campus. Disruptions shall be minimized.**

NOTE: MEP revisions:

1. Plumbing Fixture Schedule:

Change 2CS to become a 3CS and read:

“3CS, Three compartment sink, counter mounted, ADA rates, self-rimming, 18 GA. stainless steel, 16" X 14" X 6" deep bowl, dishwasher waste connection, Just TL-2249-A-GR-ADA

Change Note #15 in notes column for @CS to become new Note 18.

Add Note 18 that reads “ Single lever faucet with 12" long spout and aerator, Moen Faucet #8722”.

Waste Water Diagram:

Change “2CS to read 3CS”.

SHEET P-2

Water Riser Diagram

Change “2CS to read “3CS”.

Responses to Questions received:

1. Q) Please verify the limits of the pervious pavers - is it just in the 4 spots on the plans that show the pavers design, or is it for the whole parking area and drives starting & ending at the 2 sections of header curb?

A) *It is the entire parking lot bounded by the header curbs.*

2. Q) Drawings show sliding windows, specs call for non-impact in-swinging awning type with rates glass. Please clarify.

A) *See revised sheet A-2, date 11-22-13. Windows shall be pre-finished aluminum windows, horizontal slider with insect screens, lock, low-E, impact glazing.*

3. Q) What is the hardware to be for the aluminum storefront doors ?

A) *Entrance storefront hardware: See revised sheet A-3. Mid-rail, flush panic device with manufacturer provided locking.*

4. Q) What type of insulation is called for this project?

A) *CMU walls shall be fitted with “Icon” inserts - See specification 07200. Spray foam insulation shall be applied to the underside of the roof assembly, min R-30.*

5. Q) Do then subcontractors need to be bonded?

A) *Chatham County requires Bid, Payment & Performance Bonds from the Prime Contractor only.*

6. Q) Please verify limits or pervious pavers.

A) *It is the entire parking lot bounded by the header curbs.*

7. Q) In section 16705-8, 3-3, A,6, it says "Terminate voice backbone cable to voice (cat 3 or 5) pin patch on both ends". I see no other reference to a voice or data backbone. Is there a backbone? If so, how long, how many pair?

A) *There is no data backbone.*

ADDITIONAL CLARIFICATIONS:

Ceramic Tile : Floor Tile 8 x 8 , wall tile 4 x 4 nominal dimensions with cove base and associated trim tiles.

All ADA 2010 accessibility requirements apply to this project.

Kitchen counter shall be 34" AFF and knee space shall be provided at the sinks. Wall cabinets must comply with ADA reach heights.

BID OPENING REMAINS: 2PM, DECEMBER 3, 2013

11-27-13
DATE



ROBERT E. MARSHALL
SENIOR PROCUREMENT SPECIALIST
CHATHAM COUNTY

CLOVERDALE COMMUNITY CENTER

1909 CYNTHIA STREET, SAVANNAH GEORGIA 31415

NEW FENCE TO CONNECT TO EXISTING SCHOOL FENCE
& LIMITS OF DISTURBANCE

GENERAL NOTES:

- ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY THE OWNER OR FUNDING INSTITUTION. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT AND/OR OWNER.
- THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" A.I.A. DOCUMENT A201, CURRENT ADDITION IS HEREBY MADE A PART OF THIS CONTRACT AND SHALL BE AS BINDING AS IF CONTAINED HEREIN IN FULL. A COPY OF THIS DOCUMENT IS AVAILABLE FOR INSPECTION AT THE ARCHITECTS' OFFICE.
- THE CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THE WORK OF THE OWNER'S ADDITIONAL CONTRACTORS AS NECESSARY FOR THE UNINTERRUPTED FLOW OF WORK.
- THE MANUFACTURED ITEMS, EQUIPMENT, AND ASSEMBLIES SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS FOR INSTALLATION UNLESS OTHERWISE SPECIFICALLY INDICATED IN THESE CONSTRUCTION DOCUMENTS.
- ALL THE DRAWINGS WITHIN THIS SET OF DRAWINGS ARE COMPLEMENTARY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL THE SUBCONTRACTORS WITH A COMPLETE SET OF DOCUMENTS. DO NOT ISSUE INCOMPLETE SETS OF DRAWINGS.

PLAN REVIEW DATA

1. ARCHITECT OF RECORD

LOMINACK KOLMAN SMITH ARCHITECTS
ANNE K. SMITH, AIA,

2. OWNER / CONTACT

CITY OF SAVANNAH
GREGORI ANDERSON, PROJECT MANAGER, CHATHAM COUNTY

3. PROJECT DESCRIPTION

THIS PROJECT IS A NEW COMMUNITY CENTER WITH AN OFFICE, COMPUTER ROOM, EXERCISE ROOM, RESTROOMS, MULTI-PURPOSE ROOM, WARMING/CATERING KITCHEN, AND ASSOCIATED SUPPORT SPACES.

4. GROSS SQUARE FOOTAGE

TOTAL BUILDING:

5350 SQUARE FEET

MULTI-PURPOSE ROOM:

1913 SQUARE FEET

5. APPLICABLE CODES

INTERNATIONAL BUILDING CODE, 2006 EDITION, WITH GEORGIA AMENDMENTS

LIFE SAFETY CODE (NFPA 101), 2000 EDITION, WITH GEORGIA AMENDMENTS

INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION, WITH GEORGIA AMENDMENTS

AMERICANS WITH DISABILITIES ACT - 2010

A. OCCUPANCY CLASSIFICATION: ASSEMBLY, A-3, (ASSEMBLY USES FOR WORSHIP, RECREATION, OR AMUSEMENT...)

B. CONSTRUCTION TYPE: III-B, TABLE 601, IBC CODE

C. SPRINKLERED: NO (NOT REQUIRED PER IBC 903.2.1.3)

D. OCCUPANT LOAD:
MULTI-PURPOSE ROOM, 1913 NET SF/15 = 128
COMMUNITY CENTER (MINUS MULTI-PURPOSE ROOM)
3437 GROSS SF/100 = 35 PEOPLE (BUSINESS OCCUPANCY)
TOTAL OCCUPANTS = 163 PEOPLE

E. MEANS OF EGRESS REQUIRED:
COMMUNITY CENTER:
1 EXIT REQUIRED; 1 PROVIDED
MULTI-PURPOSE ROOM:
2 EXITS REQUIRED; 2 PROVIDED

LIST OF DRAWINGS

A-0

COVER SHEET

C1

CIVIL

C2

EXISTING CONDITIONS PLAN

C3

SITE LAYOUT PLAN

C4

GRADING AND DRAINAGE PLAN

C5

CIVIL UTILITIES PLAN

C6

UTILITIES PROFILES

C7

EROSION AND SEDIMENT CONTROL DETAILS

C8

EROSION AND SEDIMENT CONTROL NOTES

C9

EROSION AND SEDIMENT CONTROL PLAN (PHASE 1)

C10

EROSION AND SEDIMENT CONTROL PLAN (PHASE 2)

C11

EROSION AND SEDIMENT CONTROL PLAN (PHASE 3)

C12

MISCELLANEOUS DETAILS

C13

MISCELLANEOUS DETAILS

L1

LANDSCAPE PLAN

A-1

FLOOR PLAN / DIMENSION CONTROL

A-2

ROOF PLAN / ELEVATIONS

A-3

BUILDING SECTIONS

A-4

INTERIOR ELEVATIONS / FINISHES

A-5

BATHROOM ELEVATIONS

S0

STRUCTURAL NOTES

S1

FOUNDATION PLAN & DETAILS

S2

ROOF FRAMING PLAN AND DETAILS

S3

MISCELLANEOUS DETAIL

M1

MECHANICAL PLAN

P1

PLUMBING

P2

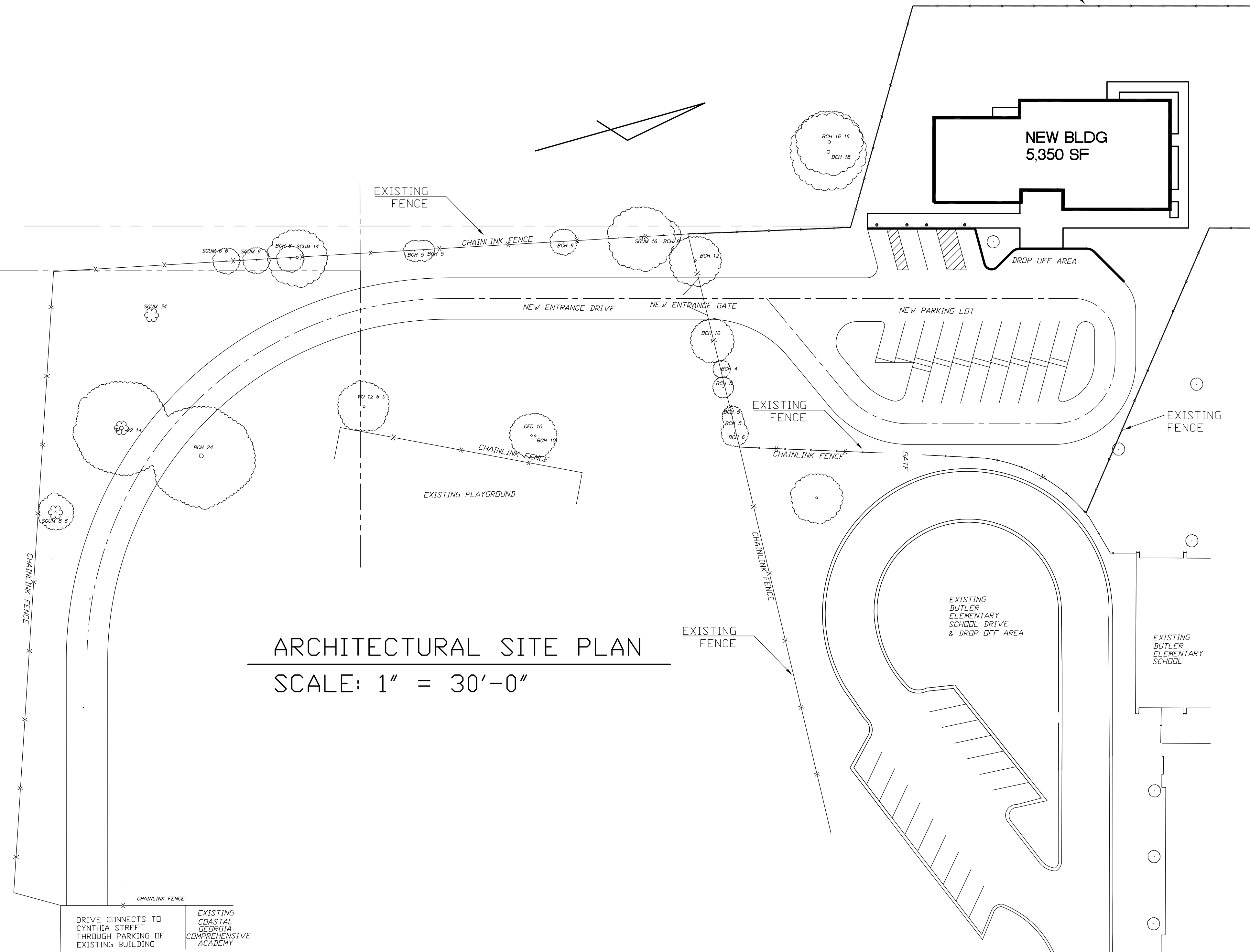
WASTE WATER

E1

ELECTRICAL

E2

POWER LIGHTING



0 50' 100'
REVISED 11-22-13

LOMINACK
KOLMAN
SMITH

Architects

Post Office Box 1587
Savannah, Georgia, 31402
(912) 232-5561



consultants:

COASTAL CIVIL
ENGINEERING

SAUSSY ENGINEERING

SMITH & VANDENBULCK
ENGINEERS

revision	date	description
1	11-22-13	GENERAL REVISIONS
REVISION:		
REVISION:		
REVISION:		
REVISION:		

CLOVERDALE
COMMUNITY CENTER
SAVANNAH, GEORGIA

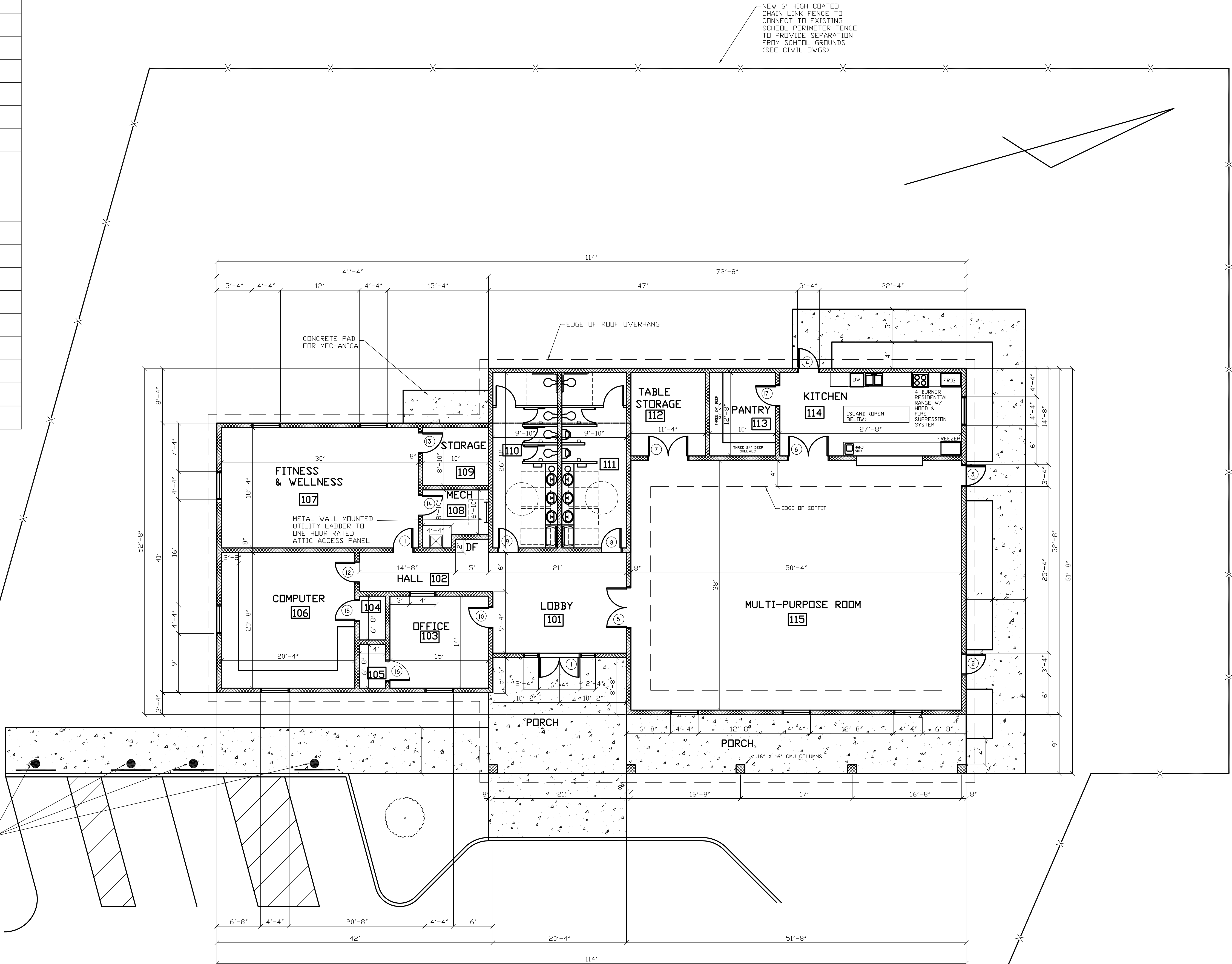
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date: 10/21/13
job number: 1207
drawn by: JRK/AKS
checked by: AKS

SHEET:

A-0

ROOM SCHEDULE		
ROOM NO.	ROOM NAME	NET AREA
I01	LOBBY	312 SF
I02	HALLWAY	122 SF
I03	CLOSET	210 SF
I04	CLOSET	210 SF
I05	OFFICE	210 SF
I06	COMPUTER	420 SF
I07	FITNESS	550 SF
I08	STORAGE	88 SF
I09	MECHANICAL	77 SF
II0	WOMEN	262 SF
III	MEN	262 SF
II2	STORAGE	144 SF
II3	PANTRY	127 SF
II4	KITCHEN	350 SF
II5	MULTI-PURPOSE	1913 SF



FLOOR PLAN

SCALE: 1/8" = 1'-0"

5350 SF +/-

REVISED 11-22-13

Post Office Box 1587
Savannah, Georgia, 31402
(912) 232-5561



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COASTAL CIVIL
ENGINEERING

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SMITH & VANDENBULCK
ENGINEERS

revision	date	description
1	11-22-13	GENERAL REVISIONS
REVISION:		
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CLOVERDALE
COMMUNITY CENTER
SAVANNAH, GEORGIA

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date: 10/21/13
job number: 1207
drawn by: JRK/AKS
checked by: AKS

SHEET:
A-1



consultants:

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ENGINEERING

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ENGINEERS

revision	date	description
1	11-22-13	GENERAL REVISIONS
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REVISION:		

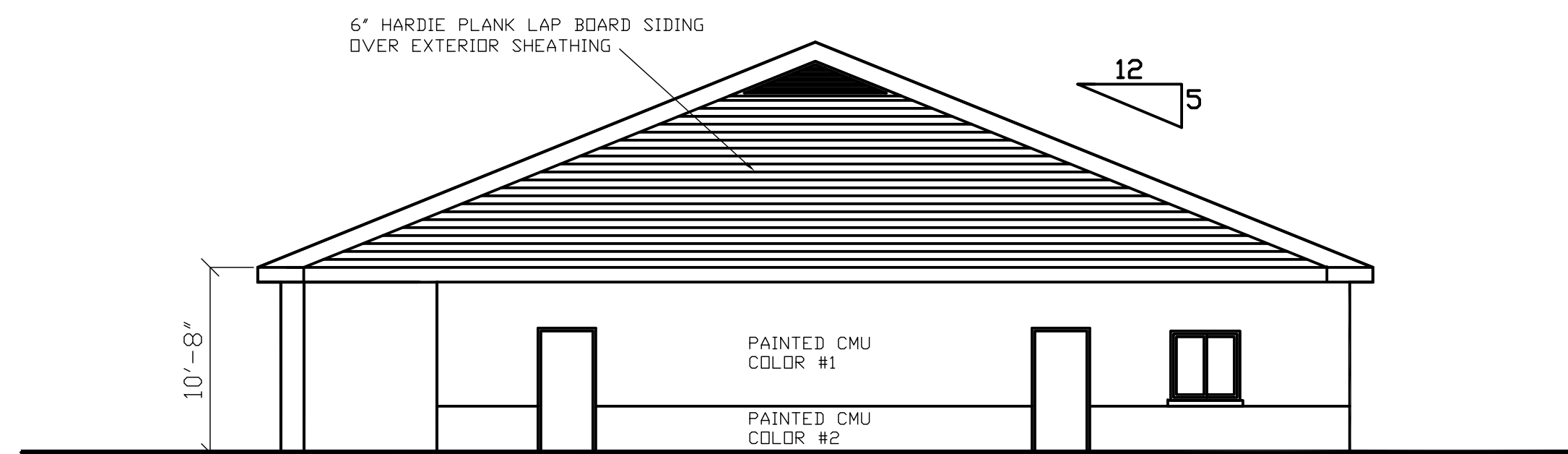
CLOVERDALE
COMMUNITY CENTER
SAVANNAH, GEORGIA

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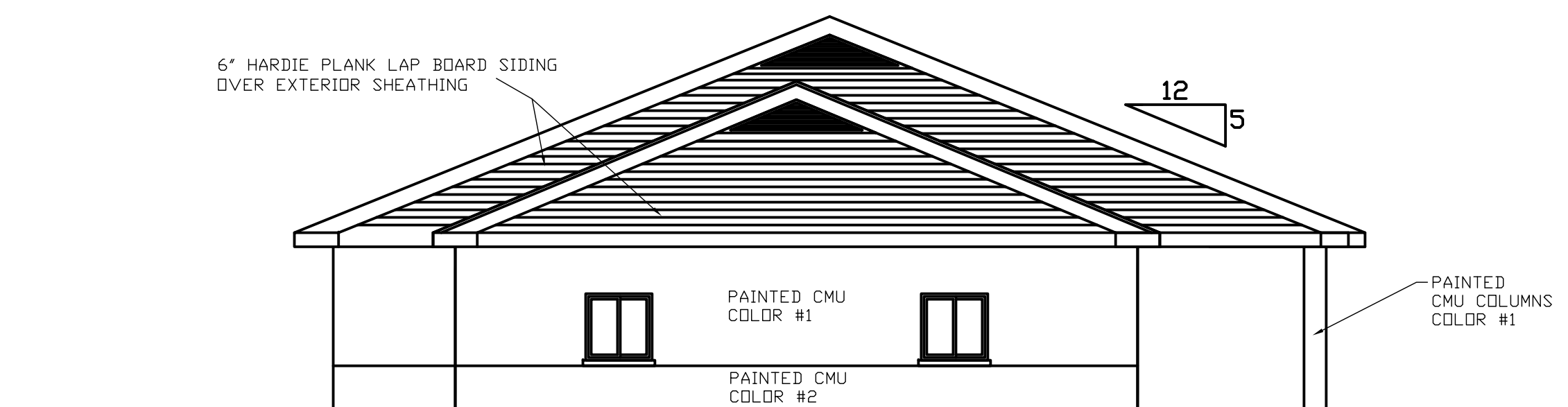
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SHEET:

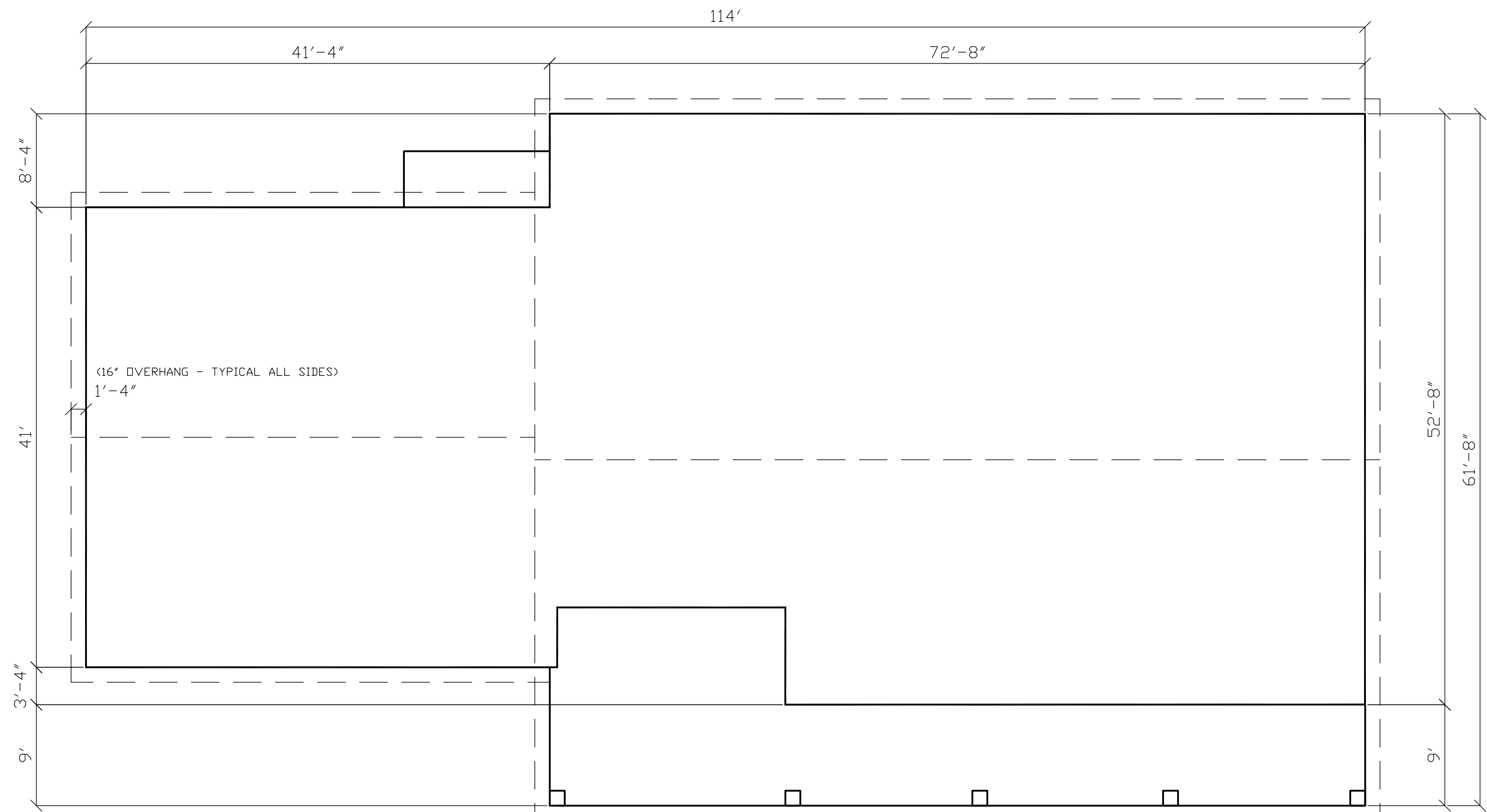
A-2



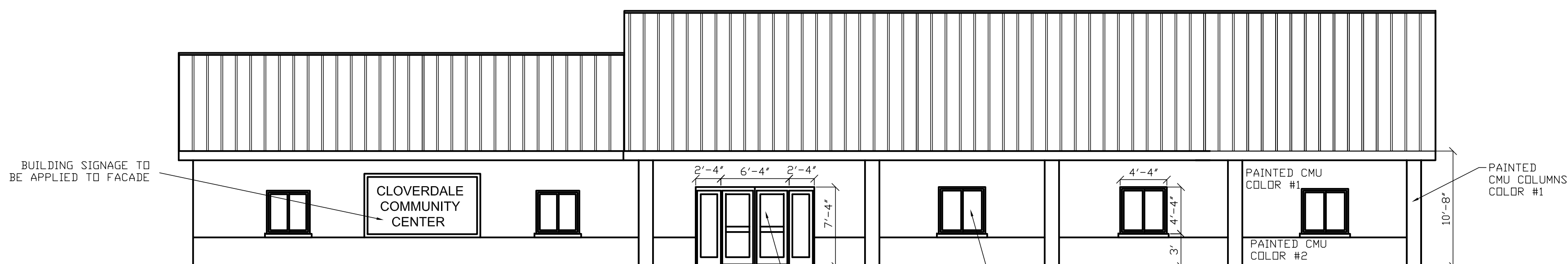
RIGHT SIDE ELEVATION
1/8" = 1'-0"



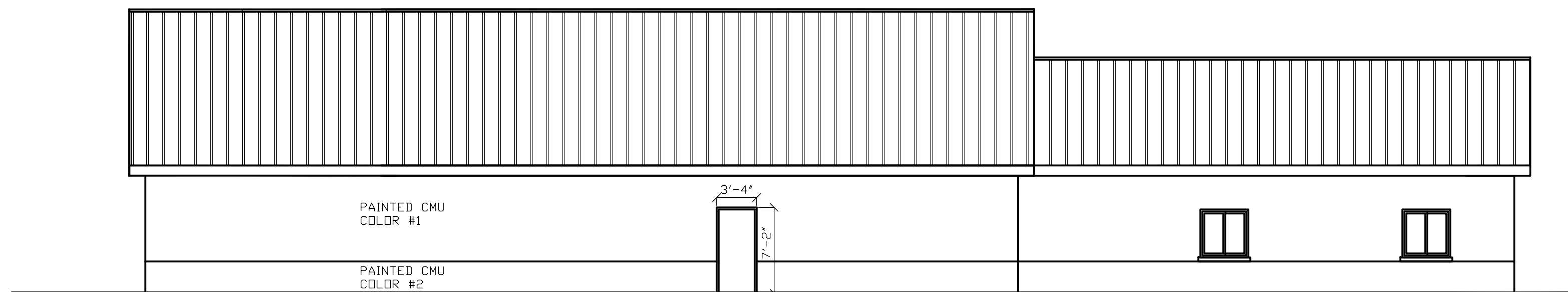
LEFT SIDE ELEVATION
1/8" = 1'-0"



ROOF PLAN
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"

REVISED 11-22-13



consultants:

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ENGINEERING

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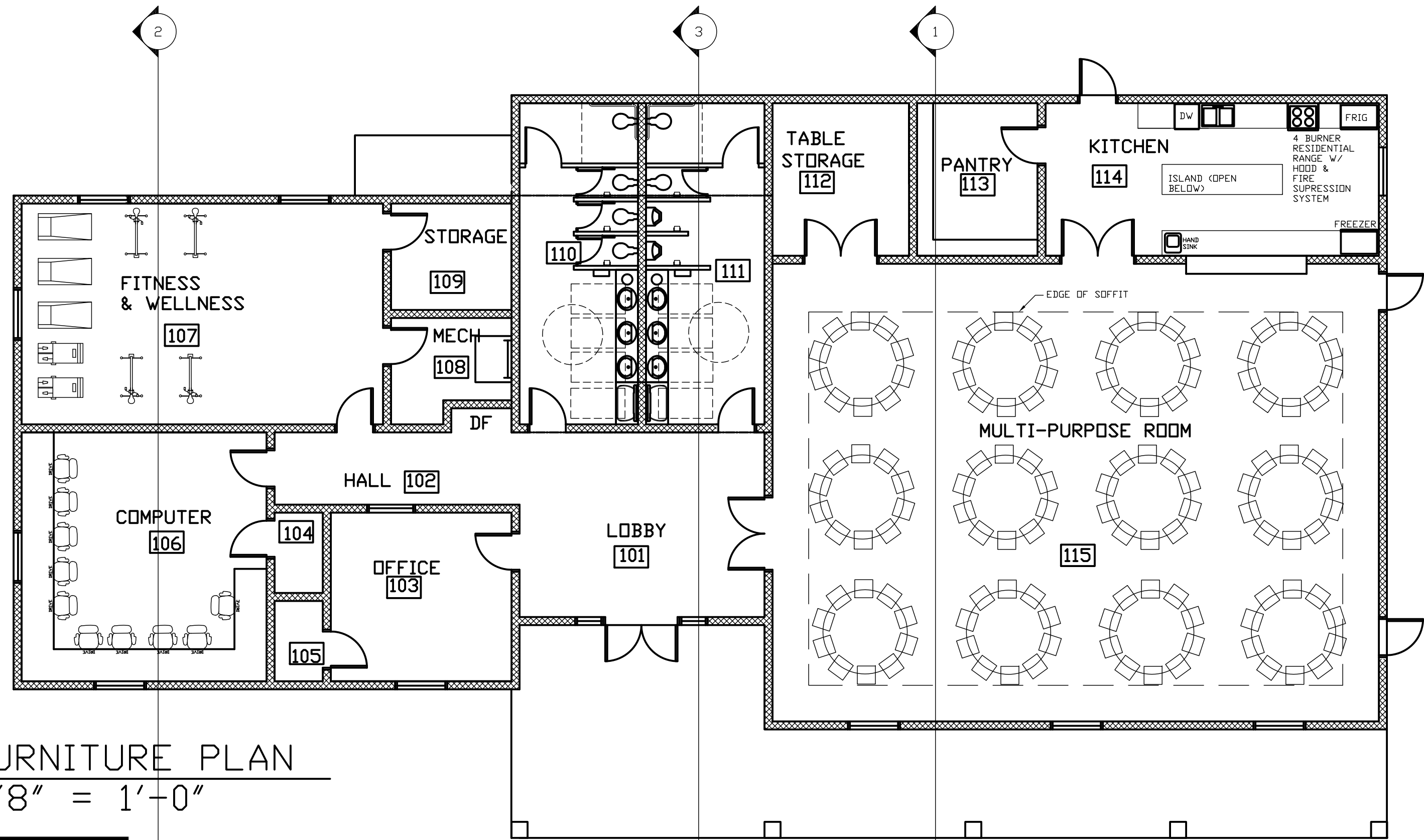
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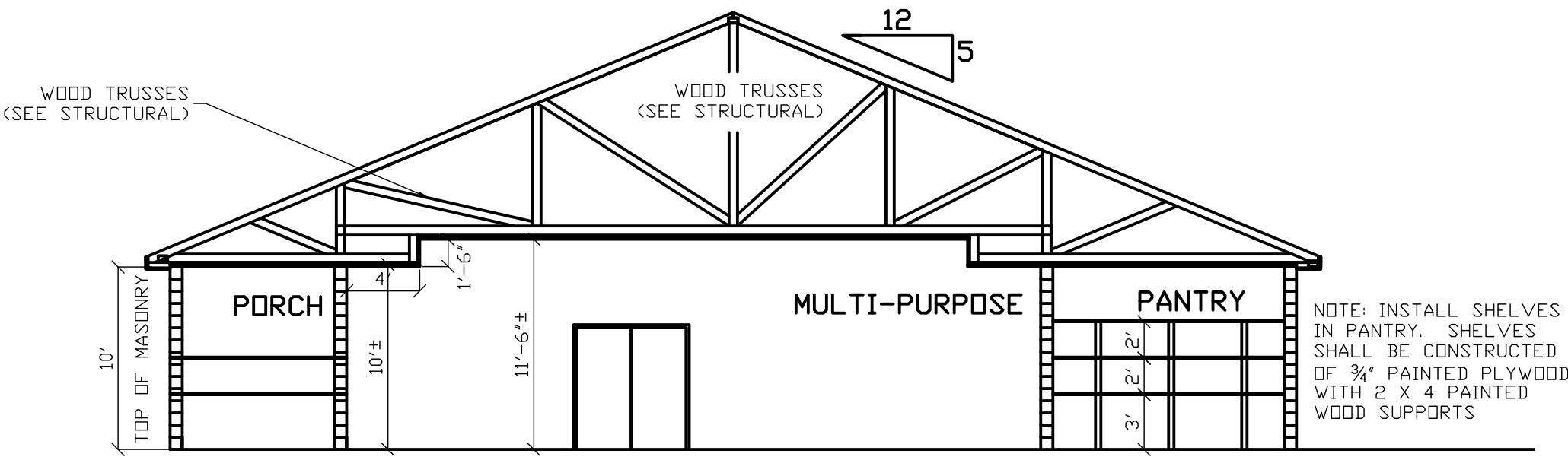
SHEET:

A-3

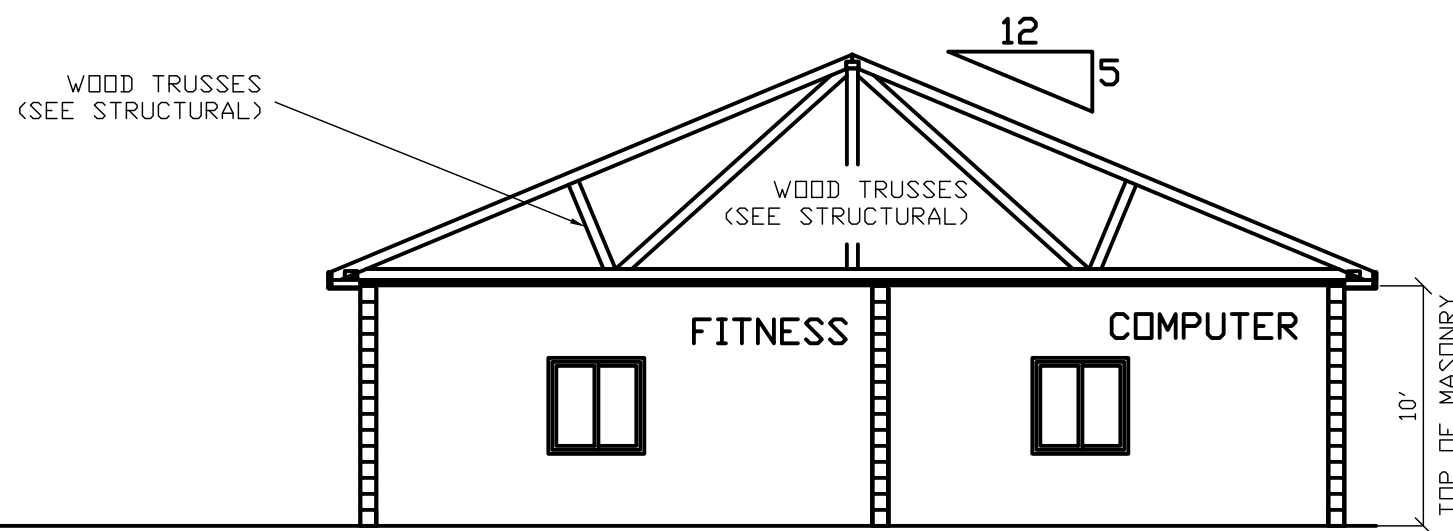


FURNITURE PLAN
1/8" = 1'-0"

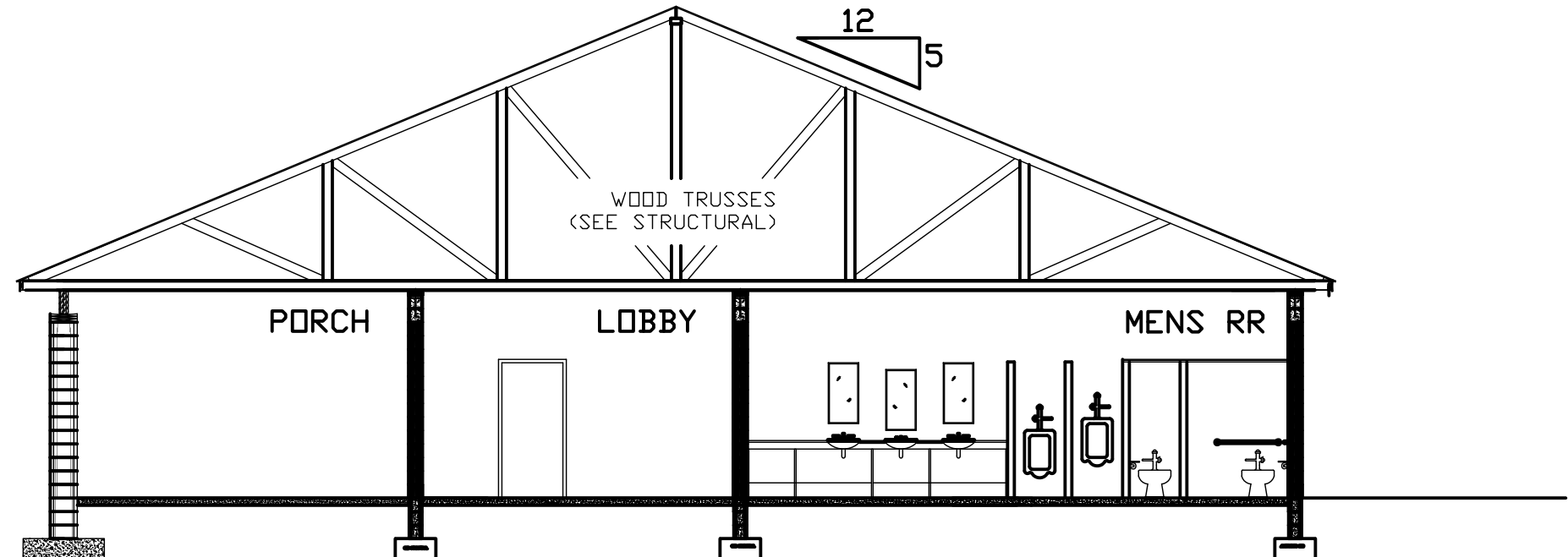
GA FILE NO. RC 2602	GENERIC	1 HOUR FIRE
WOOD TRUSSES, GYPSUM WALLBOARD		
Base layer 5/8" type X gypsum wallboard applied at right angles to wood roof trusses 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to trusses with 1 1/8" Type W or S drywall screws 12" o.c. at joints and intermediate trusses and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood trusses supporting 1/2" wood structural panels applied at right angles to trusses with 8d nails. Appropriate roof covering. Ceiling provides one hour fire resistance protection for trusses.		
Approx. Ceiling Weight: 5 psf		
Fire Test: FM FC 172, 2-25-72; ITS, 8-6-98		



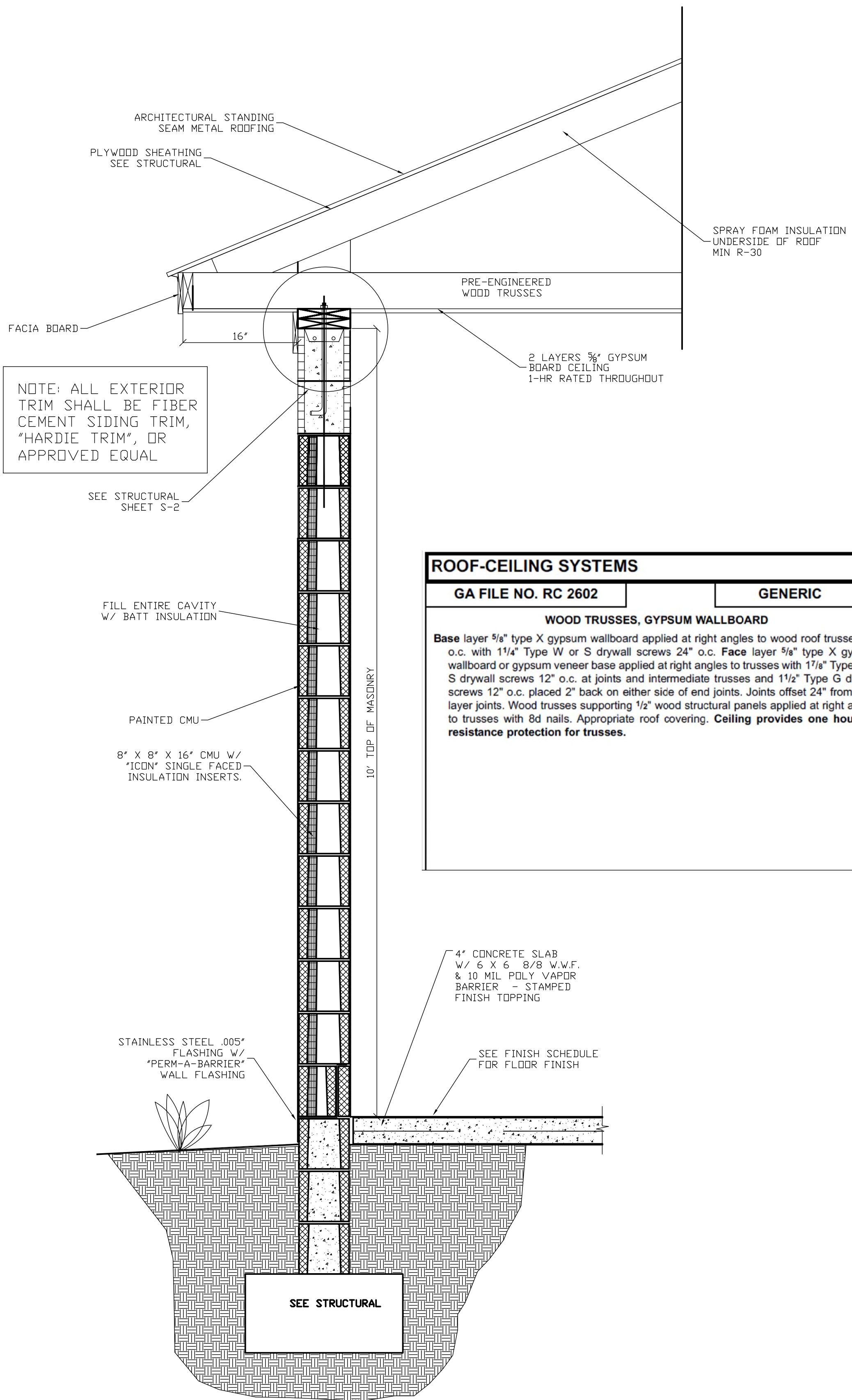
BUILDING SECTION #1
1/8" = 1'-0"



BUILDING SECTION #2
1/8" = 1'-0"

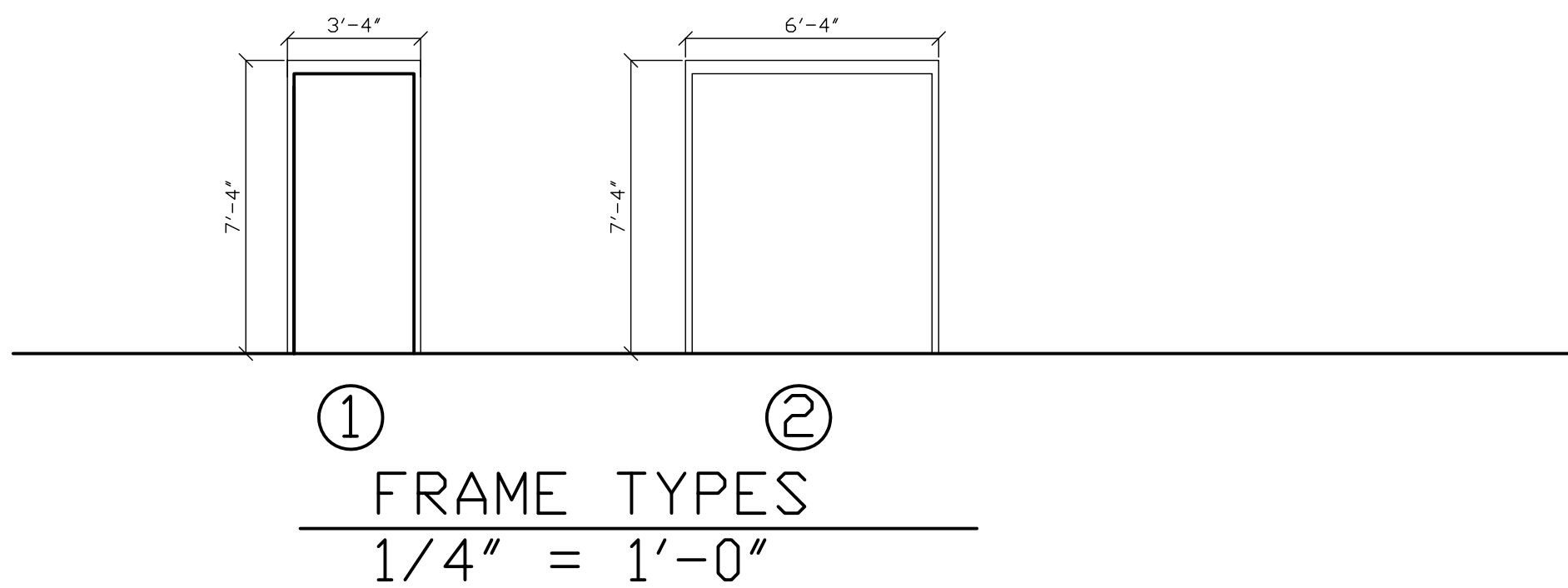
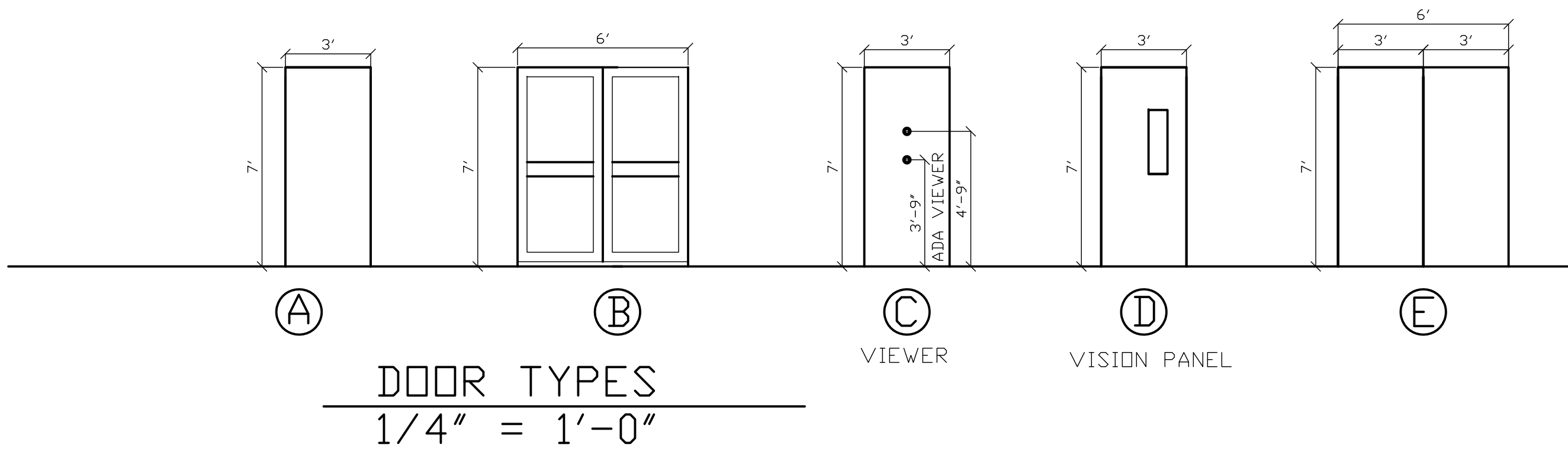


BUILDING SECTION #3
1/8" = 1'-0"



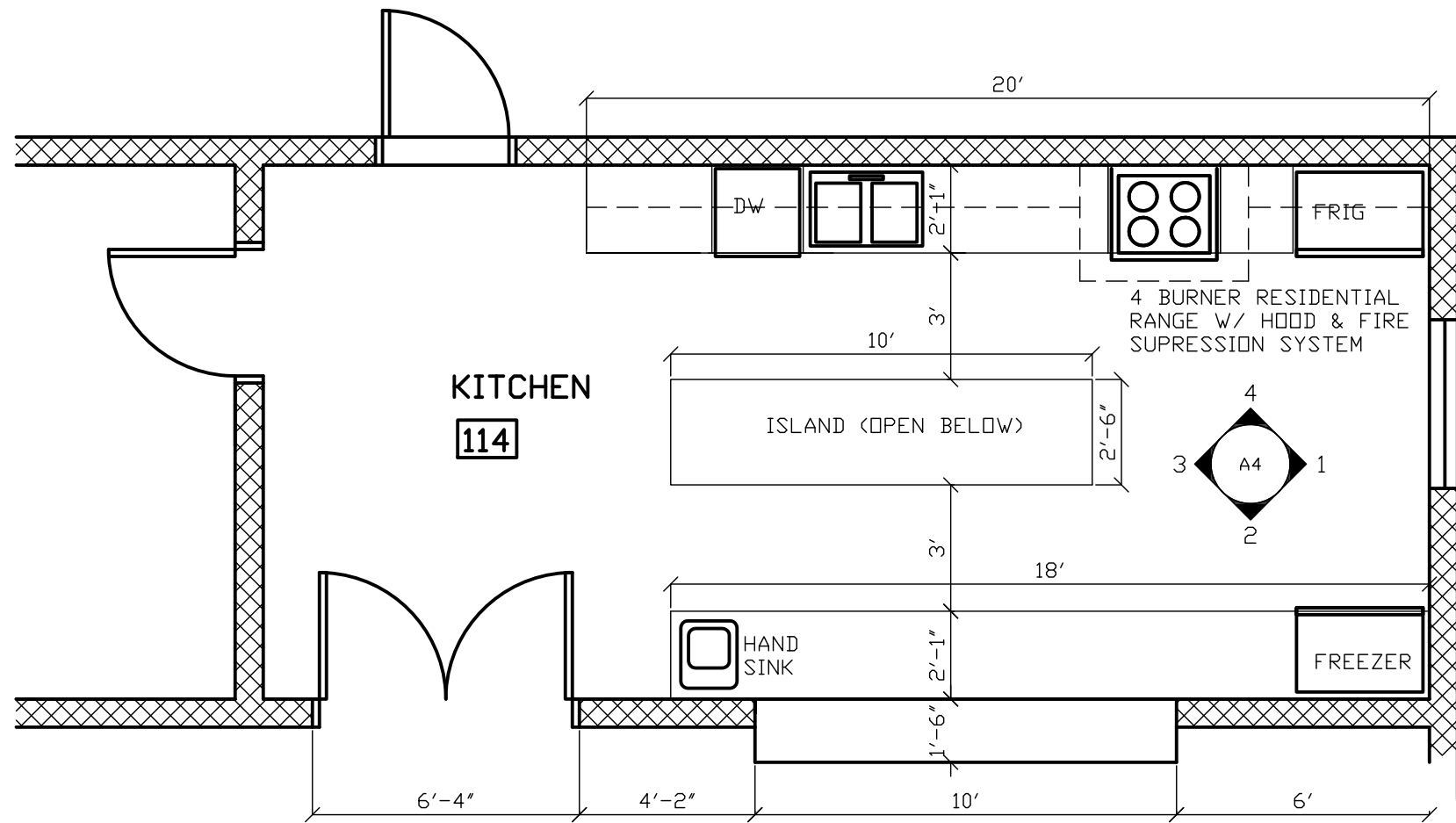
TYPICAL BUILDING SECTION
1/2" = 1'-0"

REVISED 11-22-13



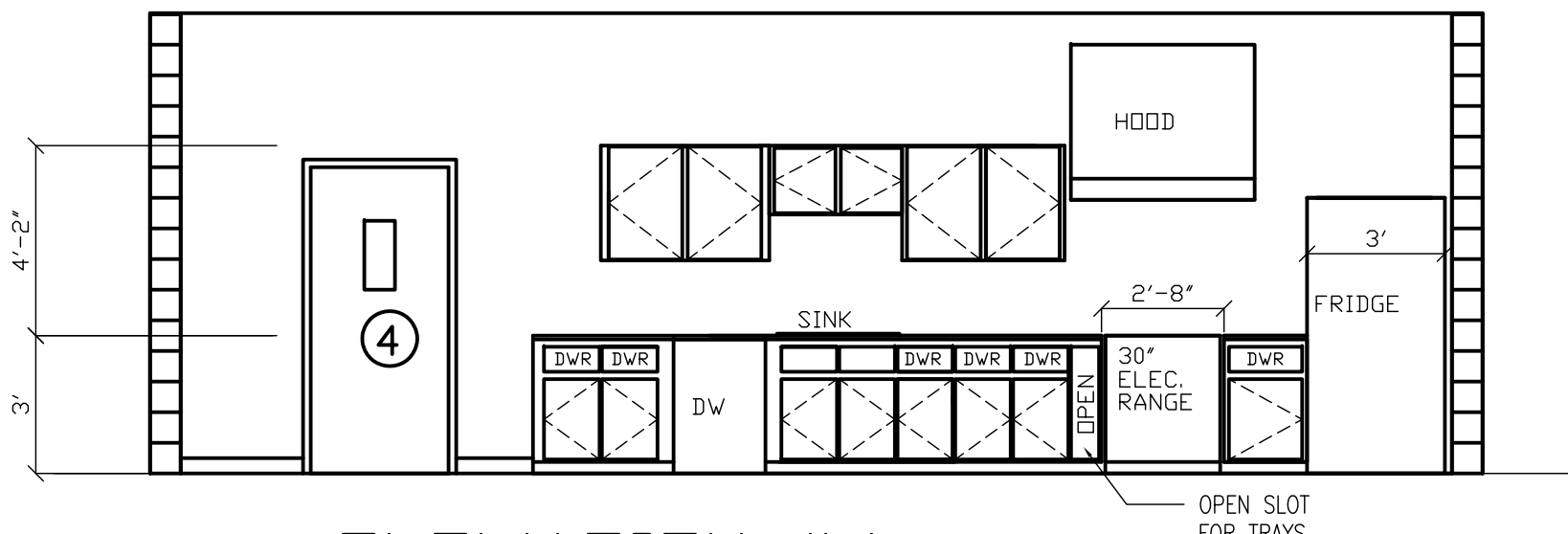
FINISH SCHEDULE									
ROOM NO.	ROOM NAME	FLOOR	BASE	WALL		CEILING			NOTES
		MATERIAL	MAT.	MAT.	FINISH	MAT.	FINISH	HEIGHT	
101	LOBBY	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
102	HALLWAY	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
103	OFFICE	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
104	CLOSET	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
105	CLOSET	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
106	COMPUTER	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
107	FITNESS	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
108	STORAGE	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
109	MECHANICAL	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
110	WOMEN	CERAMIC TILE	CERAMIC TILE	8" CMU BLOCK	CERAMIC TILE	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	FLOOR TILE 8 X 8, WALL TILE 4 X 4, NOMINAL DIMS
111	MEN	CERAMIC TILE	CERAMIC TILE	8" CMU BLOCK	CERAMIC TILE	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	FLOOR TILE 8 X 8, WALL TILE 4 X 4, NOMINAL DIMS
112	STORAGE	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
113	PANTRY	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
114	KITCHEN	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	10'-0"	
115	MULTI-PURPOSE	VCT	VINYL	8" CMU BLOCK	PAINTED	2 LAYERS 5/8" GYSUM BOARD (TYPE X)	PAINTED	11'-6"	4' SOFFIT AROUND PERIMETER FOR MECHANICAL @ 10'

DOOR AND FRAME SCHEDULE																		
SPACE #	SPACE NAME	DOOR #	DOOR					FRAME					RATING	NOTES/KEY				
			DOOR SIZE	THK	MATL	TYPE	GLAZING	MATL	TYPE	DETAIL				LOCKSET	HINGES	CLOSER	WS	
										HEAD	JAMB	THRESH						
101	LOBBY – MAIN ENTRANCE	1	PR 3'-0"W X 7'-0"H	1 3/4"	ALUM	A	IMPACT/INSULATED	ALUM	PER MFR	4"	2"	ALUM	N/A	#2	3-BB	#1	#1	NOTE #1 = BY MANUFACTURER
115	MULTI-PURPOSE ROOM – SIDE EXIT	2	3'-0"W X 7'-0"H	1 3/4"	HM	C	N/A	HM	1	4"	2"	ALUM	N/A	#2	6-BB	OHE	Y	NOTE #2 = MID-RAIL FLUSH PANIC DEVICE
115	MULTI-PURPOSE ROOM – SIDE EXIT	3	3'-0"W X 7'-0"H	1 3/4"	HM	C	N/A	HM	1	4"	2"	ALUM	N/A	#2	3-BB	OHE	Y	NOTE #3 = SURFACE MOUNTED PANIC DEVICE
114	KITCHEN – REAR EXIT	4	3'-0"W X 7'-0"H	1 3/4"	HM	C	N/A	HM	1	4"	2"	ALUM	N/A	#2	3-BB	OHE	Y	NOTE #4 = PUSH & PULL & CYLINDER
115	MULTI-PURPOSE ROOM – FROM LOBBY	5	PR 3'-0"W X 7'-0"H	1 3/4"	HM	E	N/A	HM	2	4"	2"	N	20 MIN	CYL	6-BB	OHE	N	
115	MULTI-PURPOSE ROOM – KITCHEN	6	PR 3'-0"W X 7'-0"H	1 3/4"	HM	E	N/A	HM	2	4"	2"	N	20 MIN	CYL	6-BB	OHE	N	
115	MULTI-PURPOSE ROOM – TABLE STORAGE	7	PR 3'-0"W X 7'-0"H	1 3/4"	HM	E	N/A	HM	2	4"	2"	N	20 MIN	CYL	6-BB	OHE	N	
111	MENS RESTROOM	8	3'-0"W X 7'-0"H	1 3/4"	HM	A	N/A	HM	1	4"	2"	TRANSITION STRIP	20 MIN	#4	3-BB	OHE	N	BB = BALL BEARINGS
110	WOMENS RESTROOM	9	3'-0"W X 7'-0"H	1 3/4"	HM	A	N/A	HM	1	4"	2"	TRANSITION STRIP	20 MIN	#4	3-BB	OHE	N	OHE = OVERHEAD EXPOSED
103	OFFICE	10	3'-0"W X 7'-0"H	1 3/4"	HM	D	20 MIN	HM	1	4"	2"	N	20 MIN	CYL	3-BB	OHE	N	CYL = CLYINDER
107	FITNESS	11	3'-0"W X 7'-0"H	1 3/4"	HM	D	20 MIN	HM	1	4"	2"	N	20 MIN	CYL	3-BB	OHE	N	N = NONE
106	COMPUTER	12	3'-0"W X 7'-0"H	1 3/4"	HM	D	20 MIN	HM	1	4"	2"	N	20 MIN	CYL	3-BB	OHE	N	WS = WEATHER STRIP
109	STORAGE	13	3'-0"W X 7'-0"H	1 3/4"	HM	A	N/A	HM	1	4"	2"	N	20 MIN	CYL	3-BB	OHE	N	ALUM = ALUMINUM
108	MECHANICAL	14	3'-0"W X 7'-0"H	1 3/4"	HM	A	N/A	HM	1	4"	2"	N	20 MIN	CYL	3-BB	N	N	MFR = MANUFACTURER
106	COMPUTER	15	3'-0"W X 7'-0"H	1 3/4"	HM	A	N/A	HM	1	4"	2"	N	20 MIN	CYL	3-BB	N	N	
103	OFFICE	16	3'-0"W X 7'-0"H	1 3/4"	HM	A	N/A	HM	1	4"	2"	N	20 MIN	CYL	3-BB	N	N	ALL HARDWARE SHALL BE ADA COMPLIANT
114	KITCHEN	17	3'-0"W X 7'-0"H	1 3/4"	HM	A	N/A	HM	1	4"	2"	N	20 MIN	CYL	3-BB	N	N	

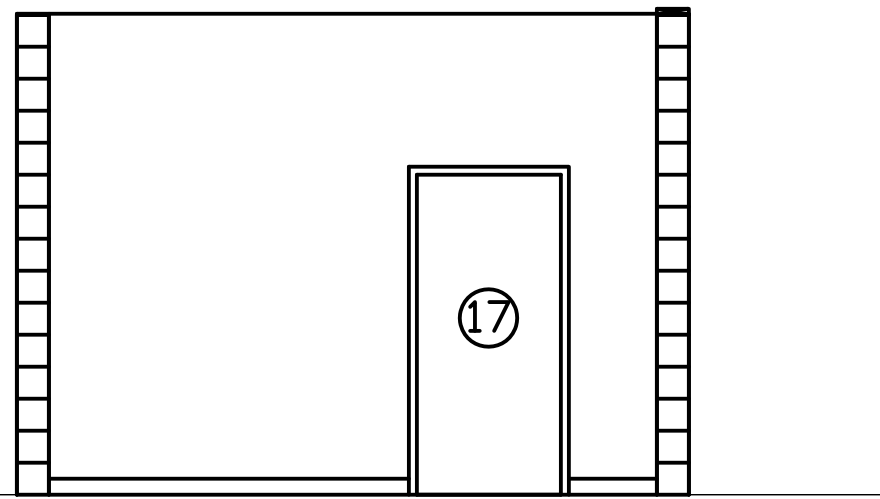


KITCHEN PLAN
1/4" = 1'-0"

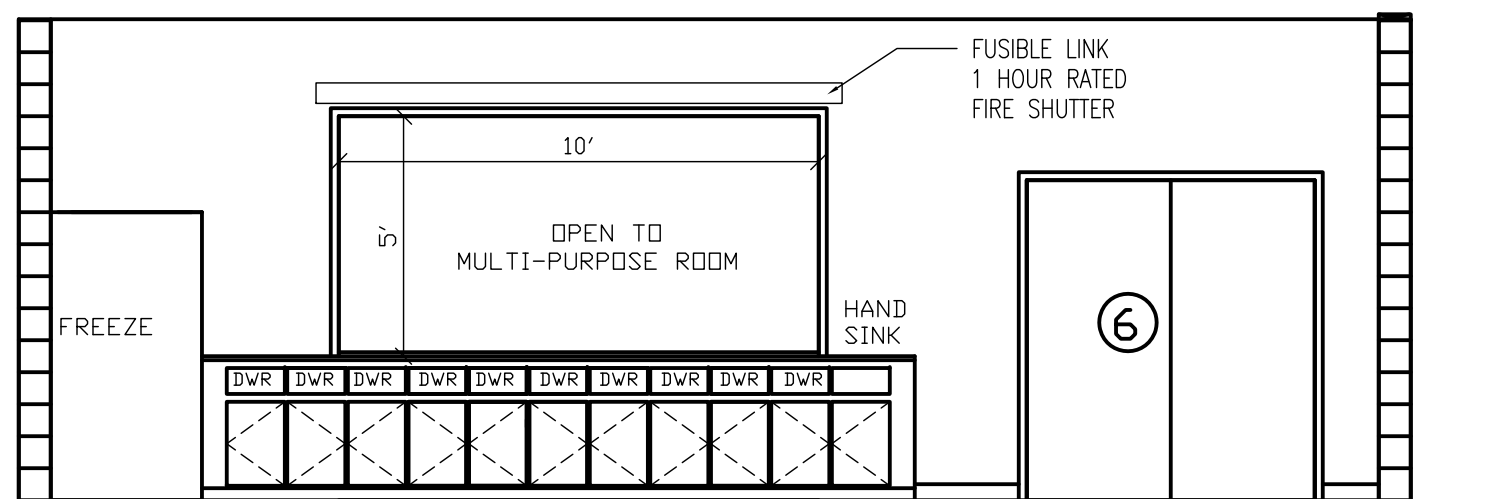
NOTE: CONTRACTOR SHALL
INSTALL OWNER PROVIDED APPLIANCES
INCLUDING 36" REFRIGERATOR (WITH ICE MAKER),
30" ELECTRIC RANGE, UNDERCOUNTER RESIDENTIAL
DISHWASHER. HOOD AND SUPPRESSION SYSTEM TO
BE PURCHASED AND INSTALLED BY CONTRACTOR.



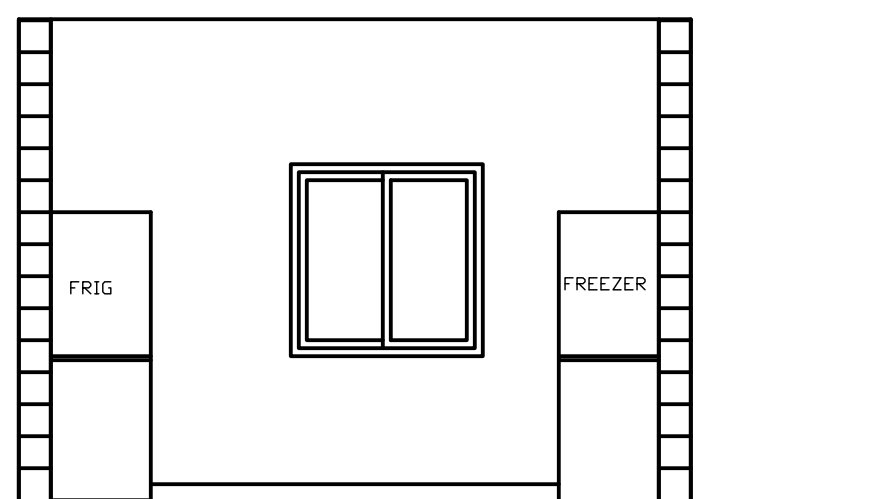
ELEVATION #4
1/4" = 1'-0"



ELEVATION #3
1/4" = 1'-0"



ELEVATION #2
1/4" = 1'-0"



ELEVATION #1
1/4" = 1'-0"

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KOLMAN
SMITH
Architects

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consultants:

COASTAL CIVIL
ENGINEERING

SAUSSY ENGINEERING

SMITH & VANDENBULCK
ENGINEERS

revision	date	description
1	11-22-13	GENERAL REVISIONS
REVISION:		
REVISION:		
REVISION:		
REVISION:		

CLOVERDALE
COMMUNITY CENTER
SAVANNAH, GEORGIA

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date: 10/21/13
job number: 1207
drawn by: JRK/AKS
checked by: AKS

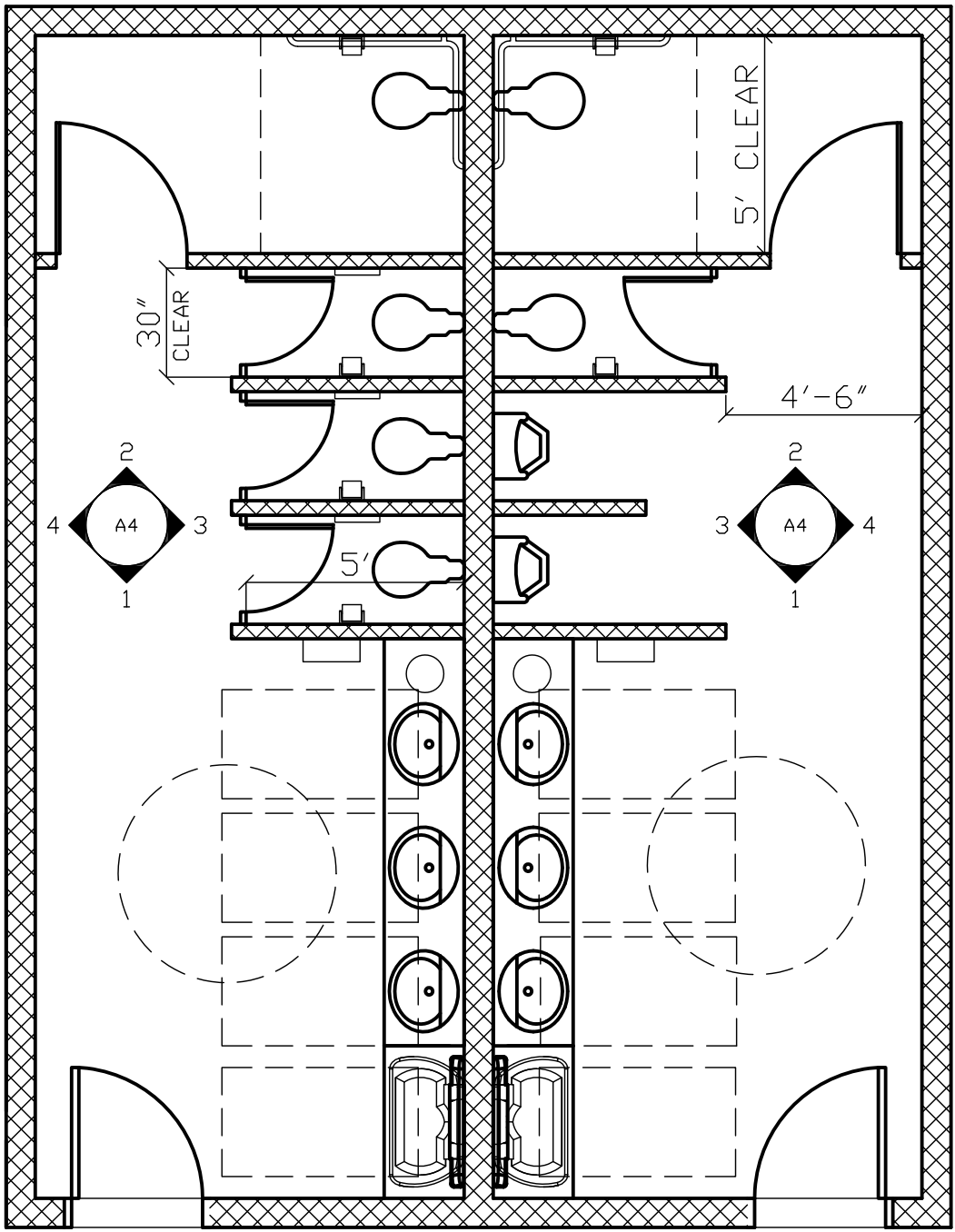
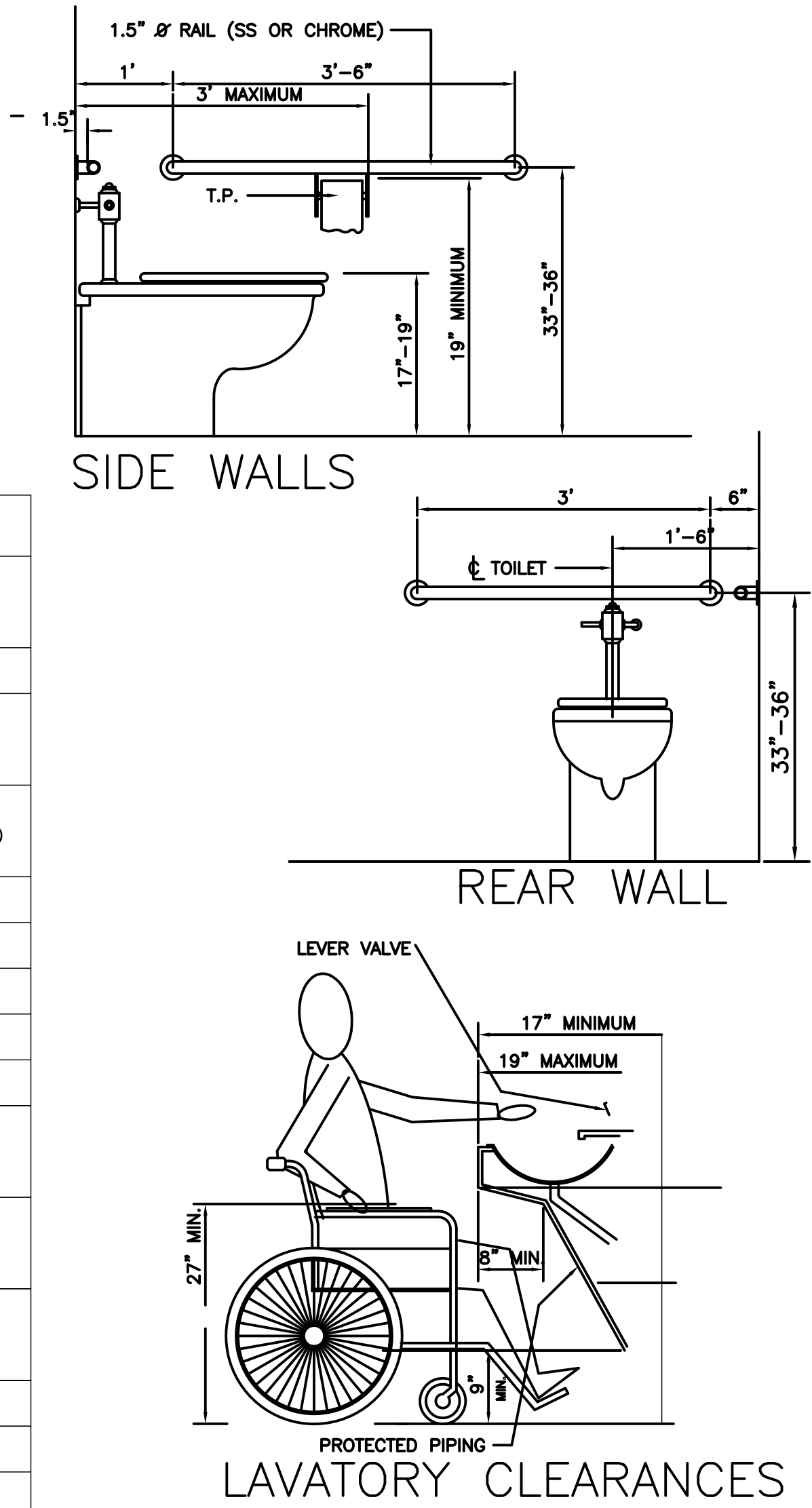
SHEET:

A-4

REVISED 11-22-13

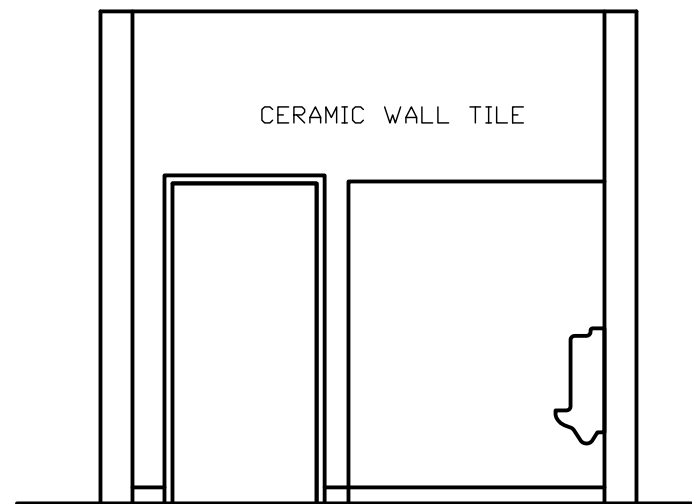
ACCESSORY SCHEDULE

NO.	DESCRIPTION	BASE
1	WALL-MOUNTED DRINKING FOUNTAIN	SPOUT HEIGHT FOR ADA DRINKING FOUNTAIN TO BE 36" MAXIMUM A.F.F. (2010 ADA: 602.4)
2A	42" GRAB BAR	33" MINIMUM AND 36" MAXIMUM A.F.F. TO THE TOP OF THE GRIPPING SURFACE (2010 ADA: 609.4) 42" LONG, 12" MAXIMUM FROM THE REAR WALL (2010 ADA: 604.5.1) BABY- CHANGING STATION GRAB BAR: MOUNT 3" O.C. FROM FRONT EDGE OF COUNTER AND 6" O.C. FROM SIDE WALL
2B	36" GRAB BAR	33" MINIMUM AND 36" MAXIMUM A.F.F. TO THE TOP OF THE GRIPPING SURFACE (2010 ADA: 609.4) 36" LONG, 12" MAXIMUM FROM THE CENTERLINE OF THE WATER CLOSET ON THE SHORT SIDE, 24" MINIMUM ON THE LONG SIDE (2010 ADA:604.5.2)
2C	24" GRAB BAR	BABY-CHANGING STATION GRAB BAR: MOUNT 3" O.C. FROM FRONT EDGE OF COUNTER AND 2 1/2" O.C. FROM SIDE WALL
3	HAND DRYER	BOTTOM OF THE SENSOR LENS TO BE 48" MAXIMUM A.F.F. (2010 ADA:308.2.1)
4	FEMININE HYGIENE DISPENSER	48" MAXIMUM A.F.F. TO HIGHEST OPERABLE PART
5	SOAP DISPENSER	MOUNT IN COUNTER
6	TOILET PARTITIONS	PER MANUFACTURER'S RECOMMENDATIONS
7	SANITARY NAPKIN DISPOSAL	30" A.F.F. TO TOP OF UNIT ADA STALLS = 14" FROM REAR WALL, AMBULATORY AND STANDARD STALLS = 28" FROM REAR WALL
8	TOILET PAPER DISPENSER	29" A.F.F. TO TOP OF UNIT 7" MINIMUM AND 9" MAXIMUM FROM FRONT EDGE OF WATER CLOSET TO THE CENTERLINE OF DISPENSER (2010 ADA: 604.7)
9	SEAT COVER DISPENSER	48" MAXIMUM A.F.F. TO DISPENSER SLOT ADA AND AMBULATORY STALLS = 42" MAXIMUM FROM REAR WALL, STANDARD STALLS = CENTER OVER TOILET PAPER DISPENSER
10	MIRROR ABOVE COUNTER	BOTTOM EDGE 40" MAXIMUM A.F.F. AND TOP EDGE 74" MINIMUM A.F.F. (2010 ADA:603.3)
11	STANDARD MIRROR	BOTTOM EDGE 35" MAXIMUM A.F.F. AND TOP EDGE 74" MINIMUM A.F.F. (2010 ADA:603.3)
12	HOOK	48" MAXIMUM AND 15" MINIMUM A.F.F. (2010 ADA:308.2)

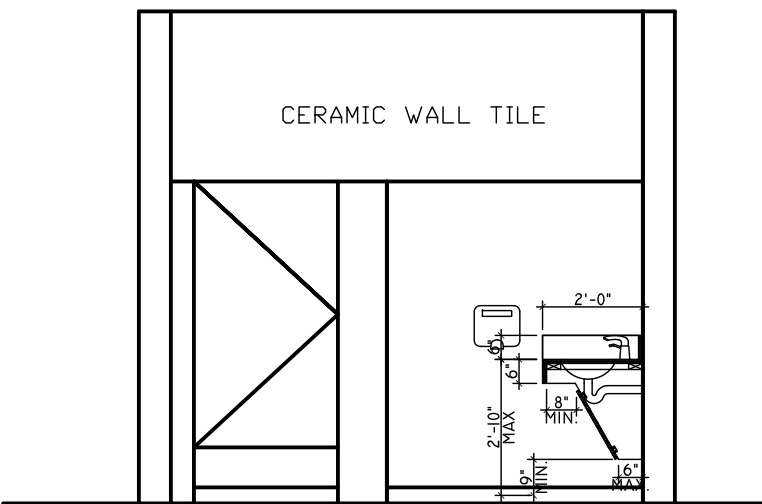


PROVIDE AND INSTALL
ADA APPROVED SIGNAGE
AT RESTROOMS

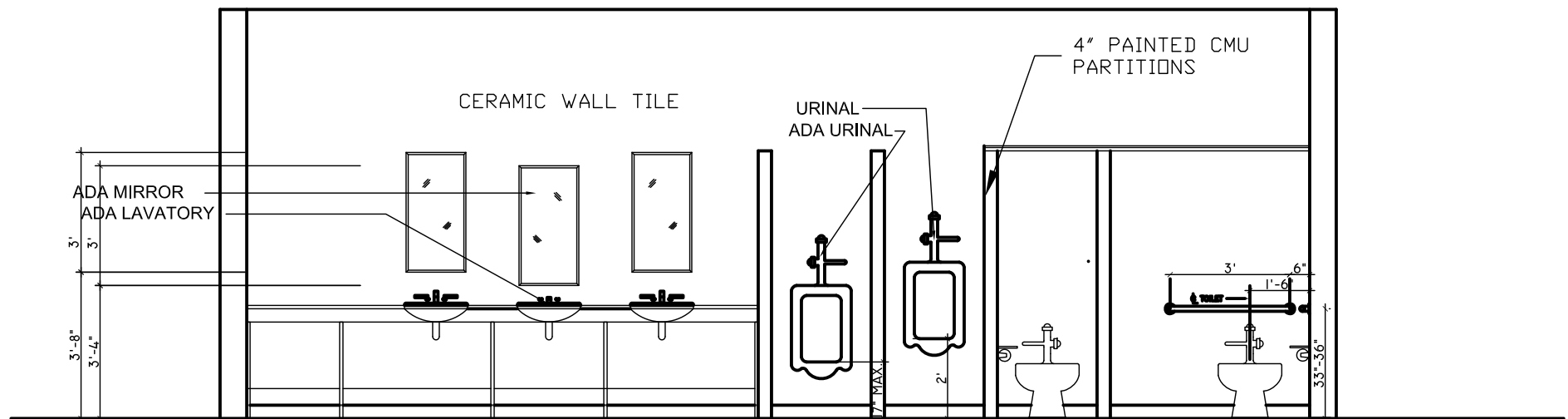
LAVATORY COUNTERS
SOLID SURFACE COUNTER
PLASTIC LAMINITE BASE



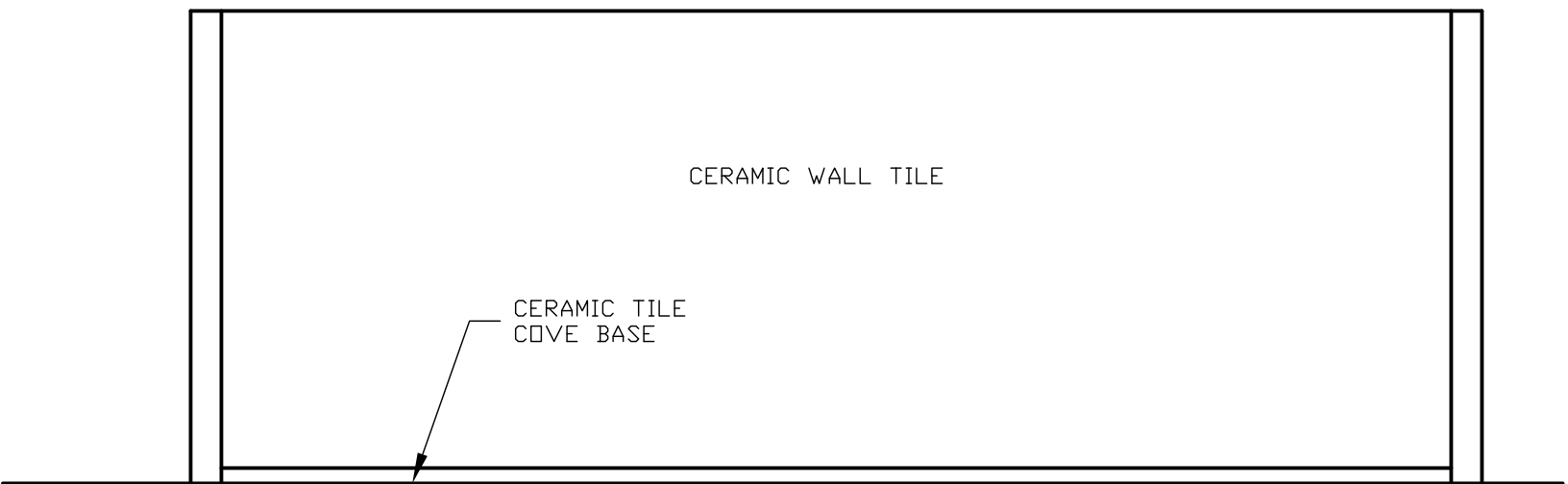
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ELEVATION #2
1/4" = 1'-0"

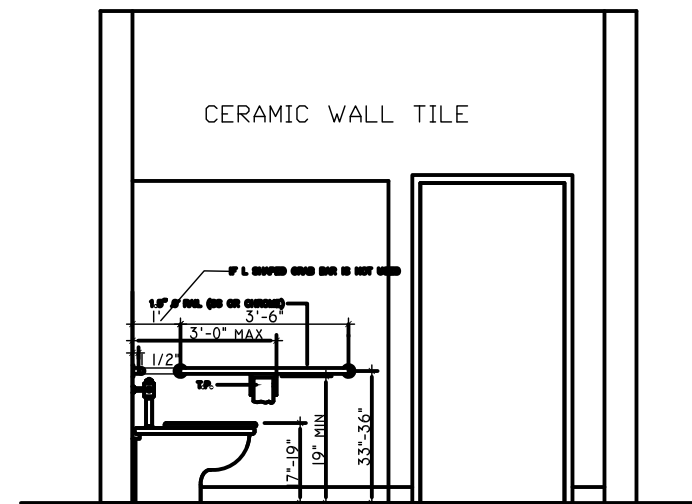


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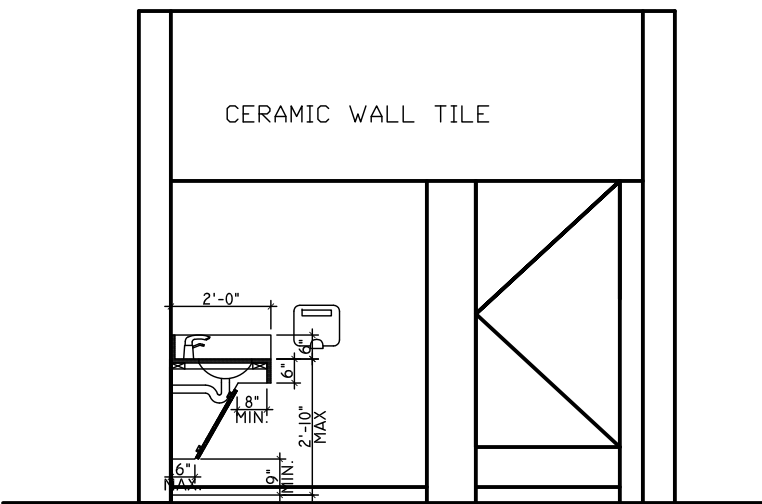


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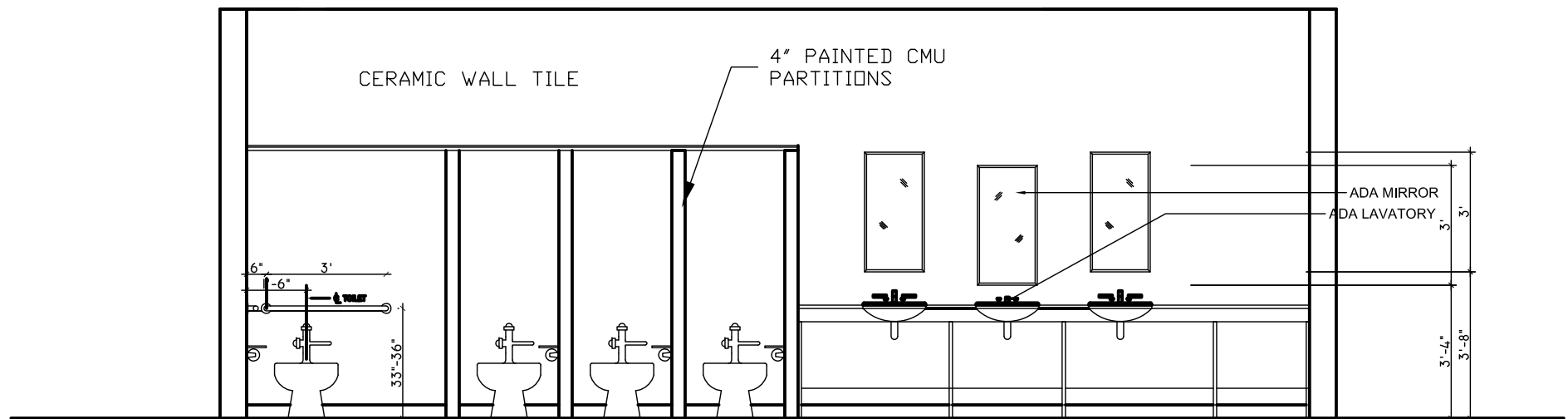
MENS RESTROOM ELEVATIONS



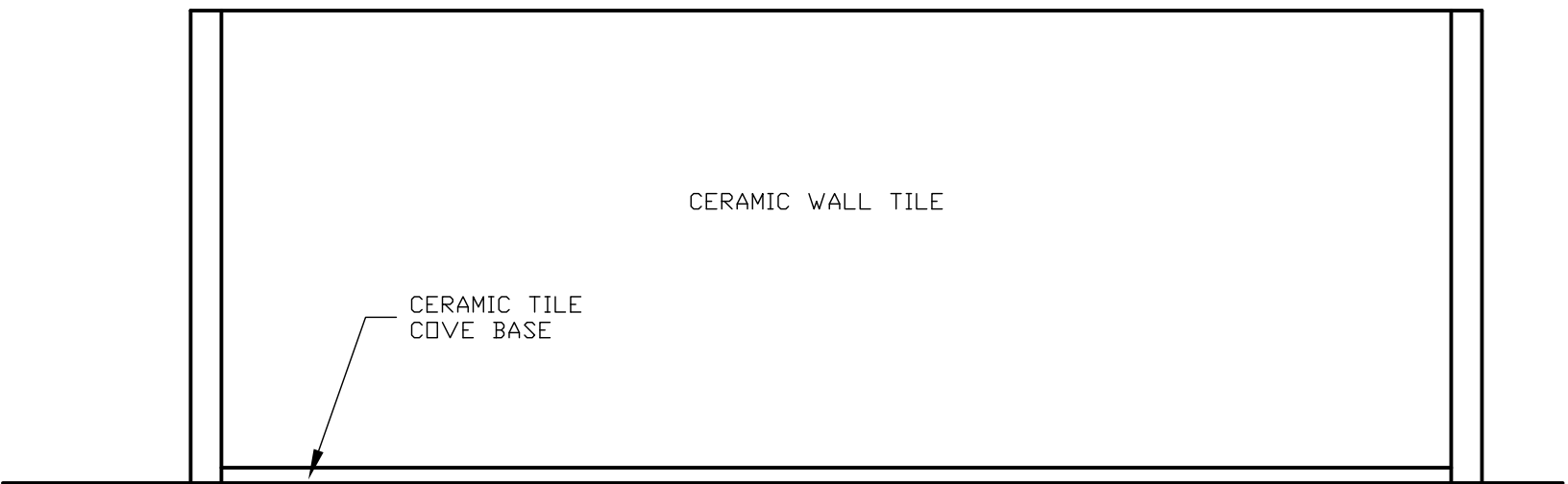
ELEVATION #1
1/4" = 1'-0"



ELEVATION #2
1/4" = 1'-0"



ELEVATION #3
1/4" = 1'-0"



ELEVATION #4
1/4" = 1'-0"

WOMENS RESTROOM ELEVATIONS

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STATE OF GEORGIA
ANNEX SMITH
11-22-13
REGISTERED ARCHITECT

consultants:

COASTAL CIVIL
ENGINEERING

SAUSSY ENGINEERING

SMITH & VANDENBULCK
ENGINEERS

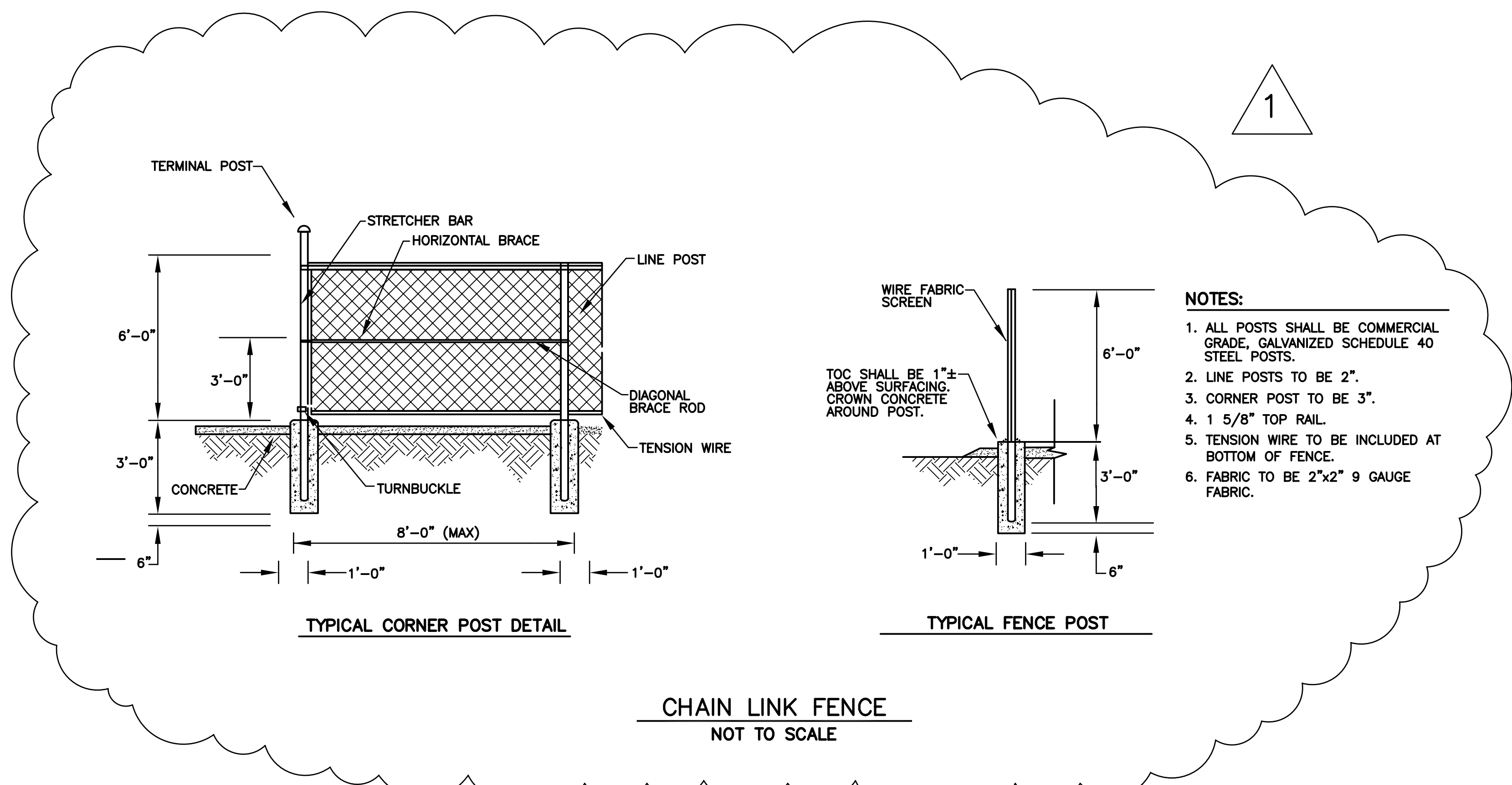
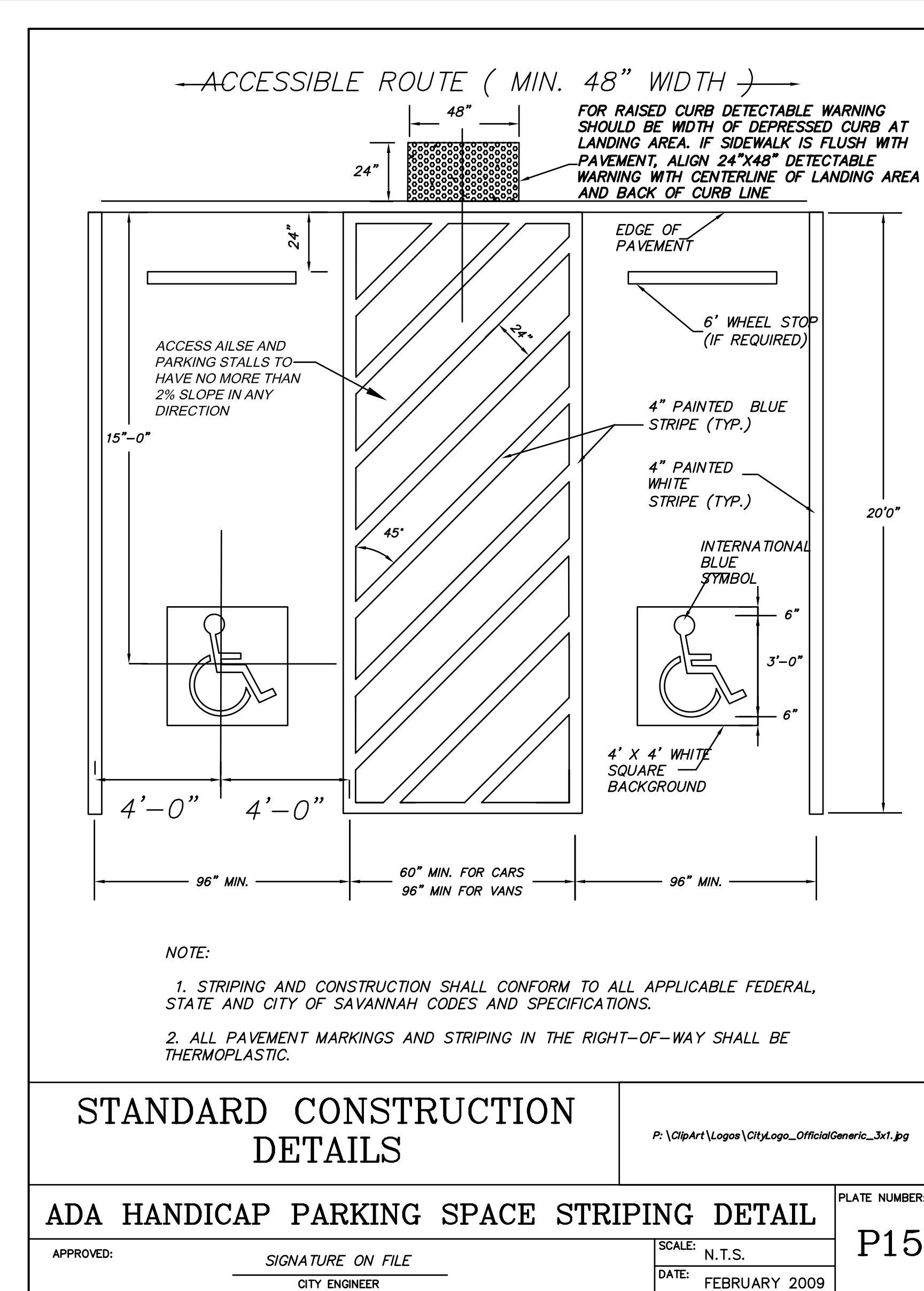
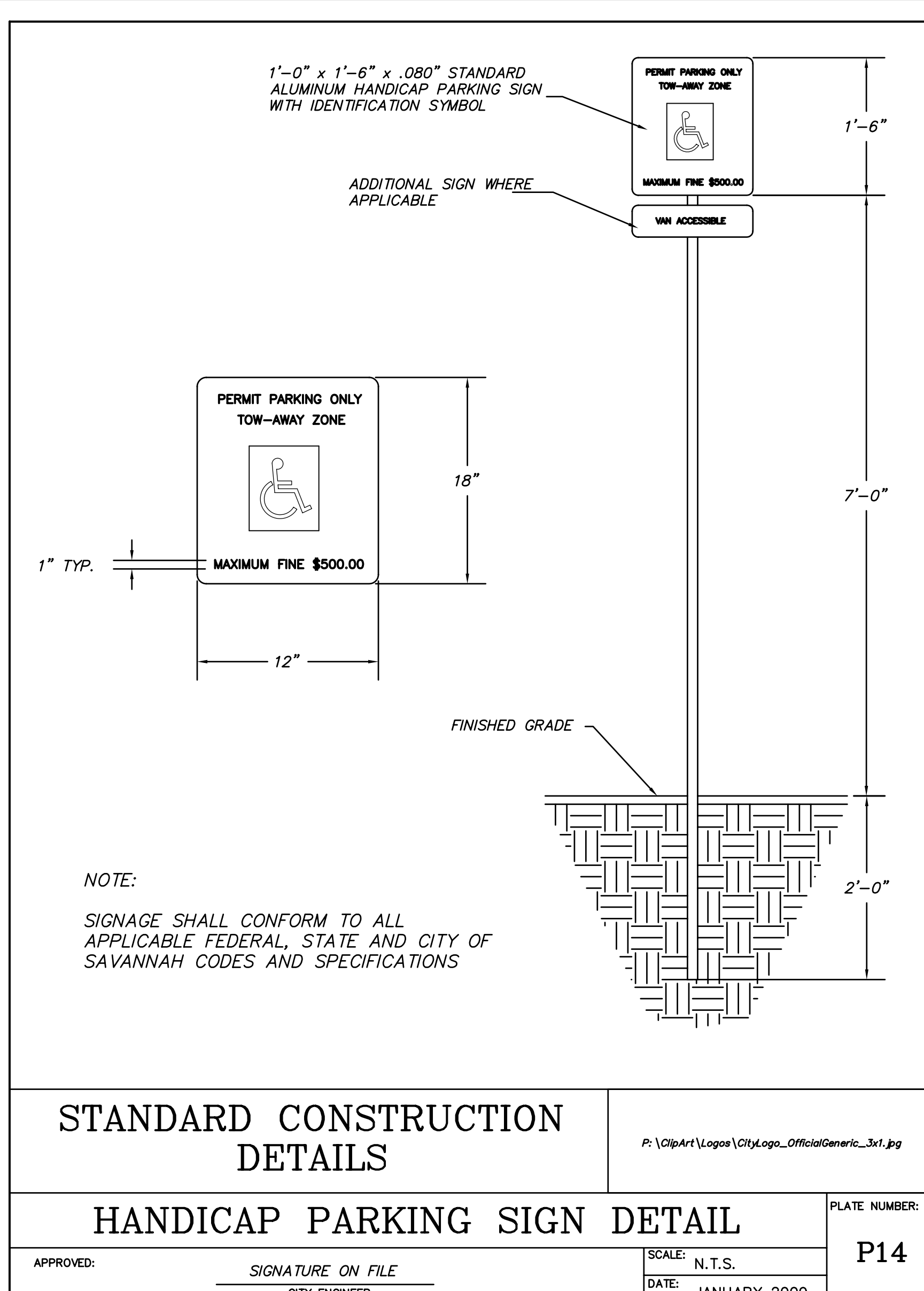
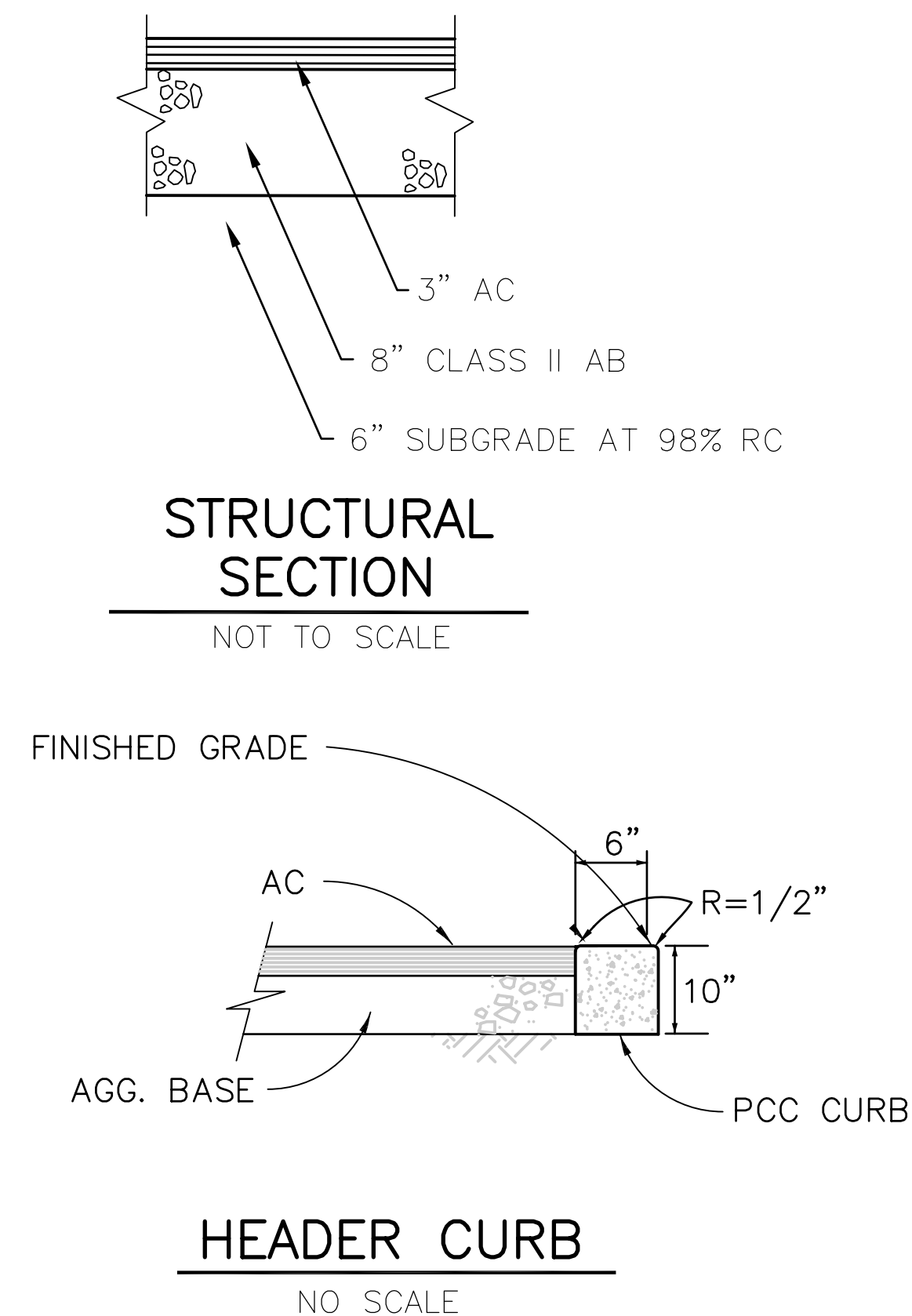
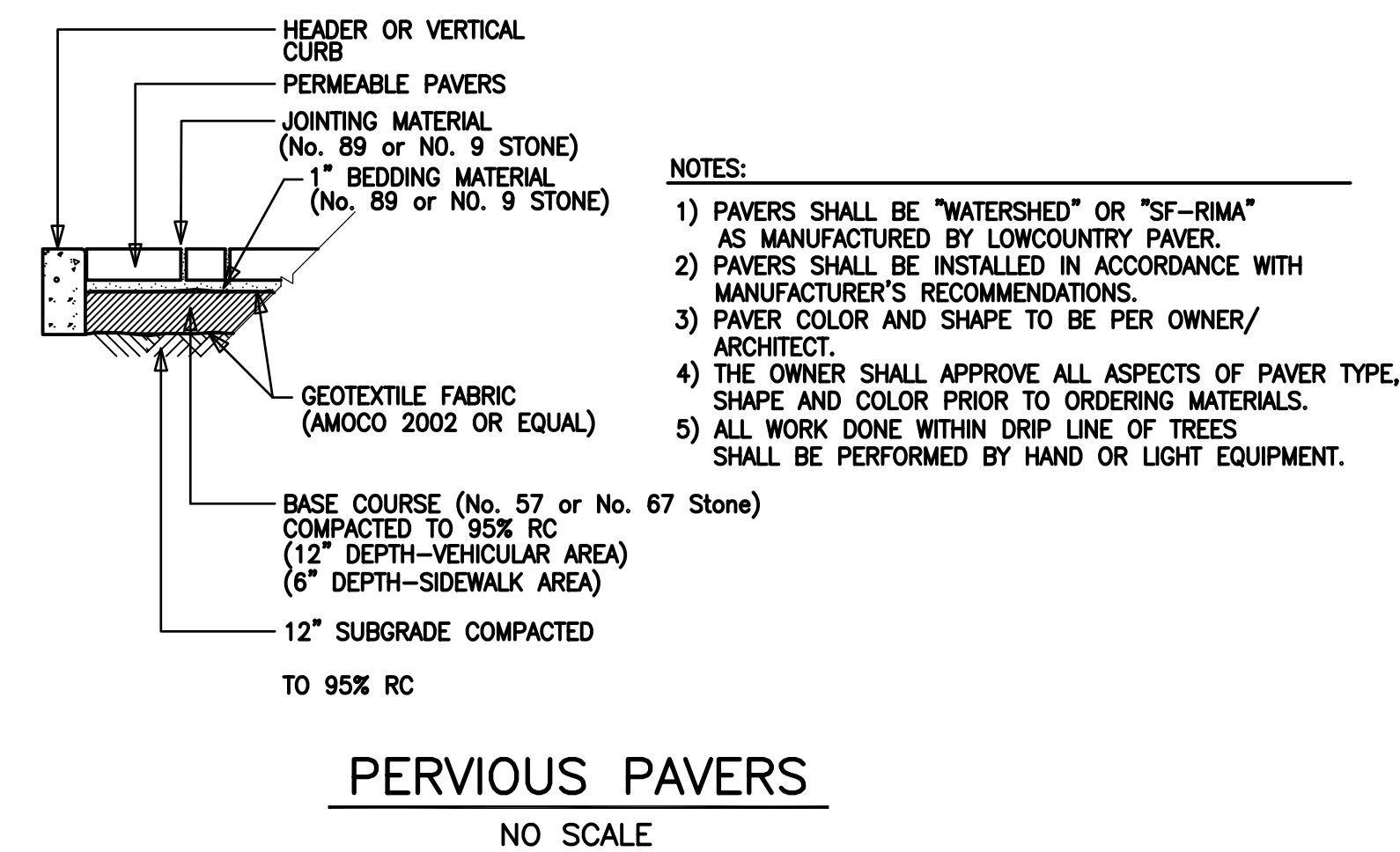
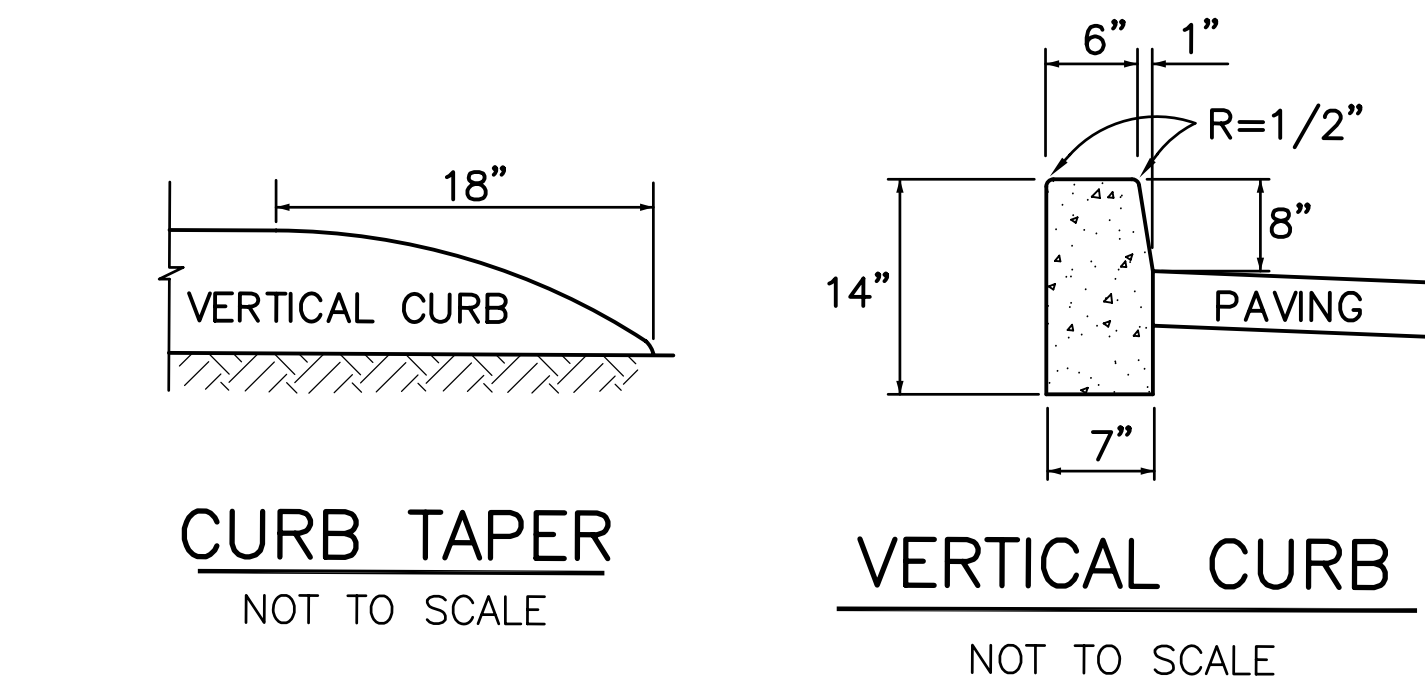
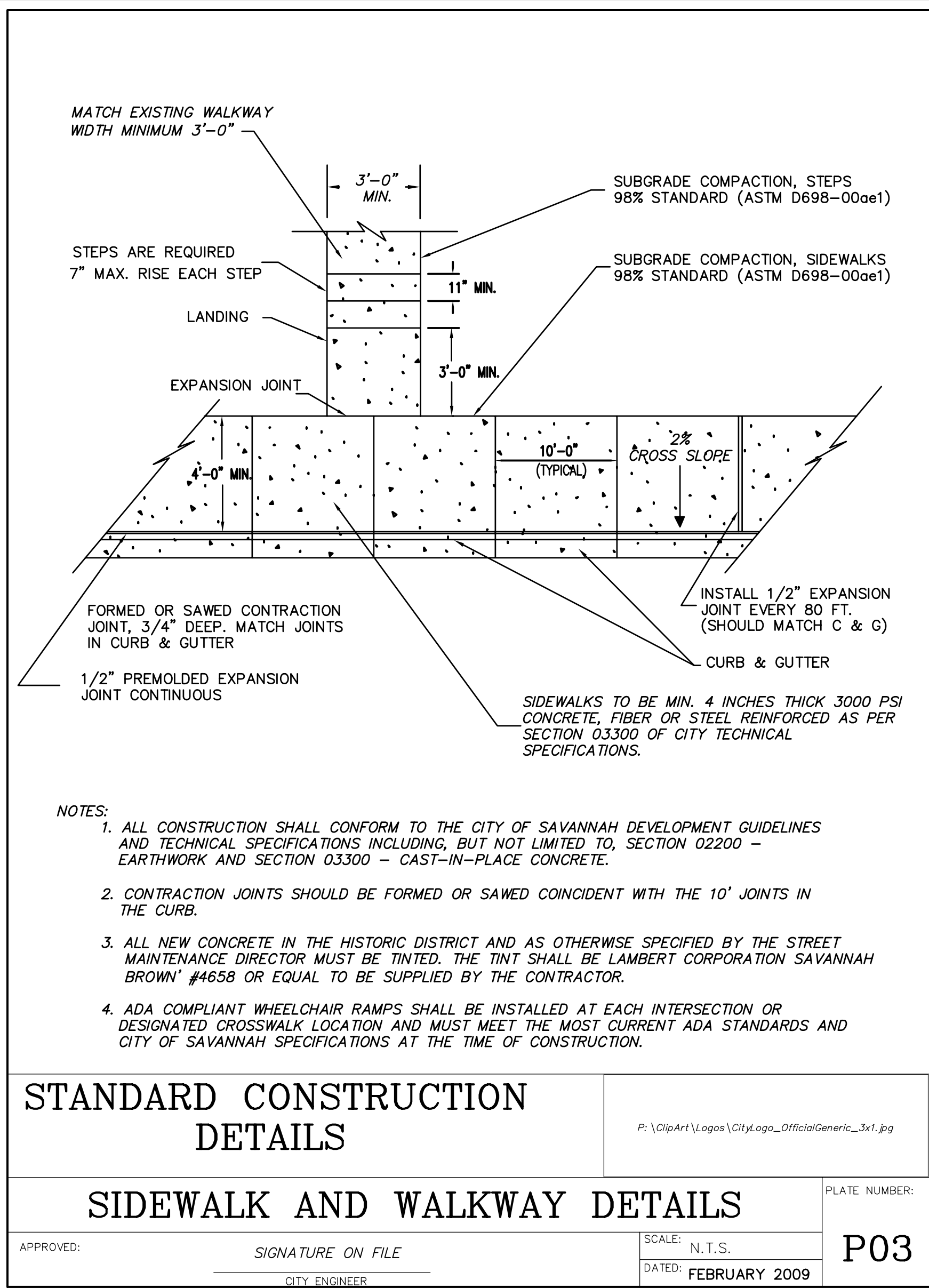
revision	date	description
1	11-22-13	GENERAL REVISIONS

CLOVERDALE
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date: 10/21/13
job number: 1207
drawn by: JRK/AKS
checked by: AKS

SHEET:
A-5



A circular professional engineer seal for the state of Georgia. The outer ring contains the text "GEORGIA" at the top and "CLAYTON SMITH, JR." at the bottom. Inside the ring, the words "REGISTERED" and "PROFESSIONAL ENGINEER" are arranged in a circle. In the center, the number "No. 8757" is printed. A handwritten signature, "Clayton Smith, Jr.", is written across the seal, and the date "10-01-13" is handwritten below the number.

[illegible]

**CLOVERDALE COMMUNITY CENTER
1909 CYNTHIA STREET
SAVANNAH, GEORGIA**

SHEET:

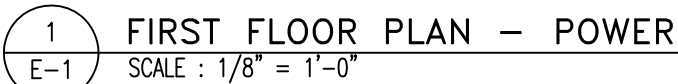
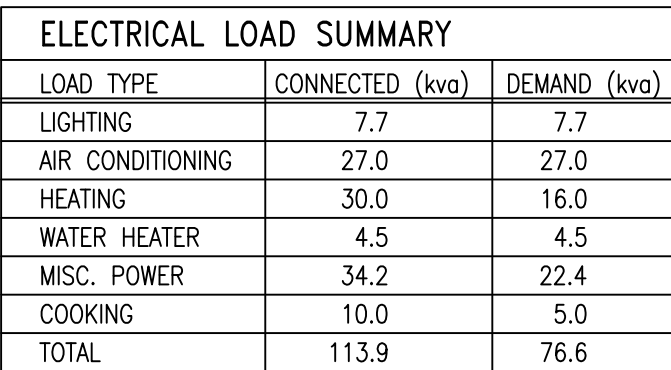
E-1

- OF: -

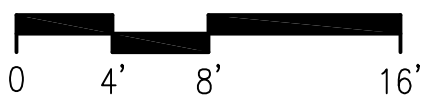
1. EQUIPMENT DECK ABOVE RESTROOM.
2. IN ATTIC.
3. INSTALL WITH OUTLET TOP 3" BELOW COUNTER TOP.



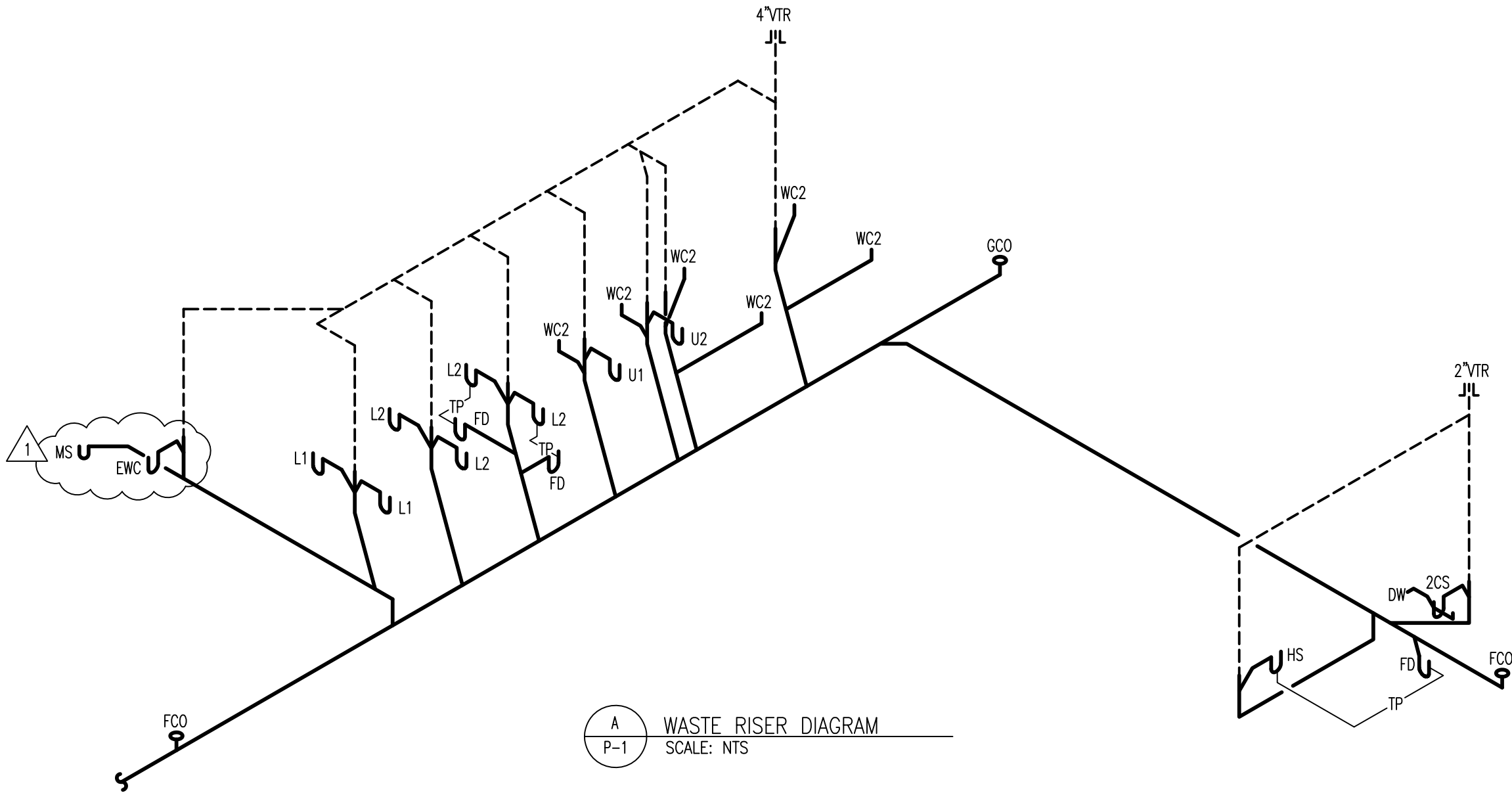
C. B. NO.	POLES	TRIP AMPS	LOAD KVA	DESCRIPTION	C. B. NO.	POLES	TRIP AMPS	LOAD KVA	DESCRIPTION
1	1	20	1.0	RECEPTACLES – MULTIPURPOSE	2	1	20	1.6	LIGHTING – MULTIPURPOSE
3	1	20	1.0	RECEPTACLES – MULTIPURPOSE	4	1	20	1.6	LIGHTING – MULTIPURPOSE
5	1	20	0.5	RECEPTACLE – EWC	6	1	20	0.4	CEILING FANS
7	1	20	1.0	RECEPTACLES – MULTI, LOBBY, OFFICE	8	1	20	1.3	LIGHTING – KITCHEN, RESTROOMS, STORAGE
9	1	20	1.0	RECEPTACLES – LOBBY, OFFICE, EXT.	10	1	20	1.4	LIGHTING – LOBBY, OFFICE, EQ. DECK
11	1	20	0.6	RECEPTACLES – COMPUTER	12	1	20	1.5	LIGHTING – COMPUTER, FITNESS
13	1	20	0.6	RECEPTACLES – COMPUTER	14	1	20	0.3	LIGHTING – EXTERIOR VIA P/C
15	1	20	0.6	RECEPTACLES – COMPUTER	16	1	20	1.0	RECEPTACLES – FITNESS, EXT., DECK, MULTI
17	1	20	0.6	RECEPTACLES – COMPUTER	18	1	20	0.2	RECEPTACLES – TTB
19	1	20	0.6	RECEPTACLES – COMPUTER	20	1	20	1.0	RECEPTACLES – WOMEN'S RESTROOM
21	1	20	0.6	RECEPTACLES – COMPUTER	22	1	20	1.0	RECEPTACLES – MEN'S RESTROOM
23	1	20	0.5	RECEPTACLES – COMPUTER, FITNESS	24	1	20	1.0	RECEPTACLES – STORAGE, EXT., KITCHEN
25	1	20	1.0	RECEPTACLES – FITNESS	26	1	20	0.3	EF'S
27	1	20	1.0	RECEPTACLES – FITNESS	28	2	50	10.0	RANGE
29	1	20	1.0	RECEPTACLES – FITNESS	30	–	–	–	↓
31	1	20	1.0	RECEPTACLES – FITNESS	32	1	20	–	SPARE
33	1	20	1.0	RECEPTACLES – FITNESS	34	1	20	–	SPARE
35	1	20	1.0	RECEPTACLES – FITNESS	36	1	20	–	SPARE
37	1	20	1.0	RECEPTACLES – FITNESS	38	1	20	–	SPARE
39	1	20	1.0	RECEPTACLES – FITNESS	40	1	20	–	SPARE
41	1	20	1.0	RECEPTACLES – FITNESS	42	1	20	–	SPARE
43	1	20	1.5	RECEPTACLES – KITCHEN (SMALL APPLIANCE)	44	1	20	–	SPARE
45	1	20	1.5	RECEPTACLES – KITCHEN (SMALL APPLIANCE)	46	2	60	11.5	AH-1 + 10KW
47	1	20	1.5	RECEPTACLES – KITCHEN (SMALL APPLIANCE)	48	–	–	–	↓
49	1	20	1.0	RECEPTACLE – REFRIGERATOR	50	2	50	7.5	CU-1
51	1	20	1.0	RECEPTACLE – FREEZER	52	–	–	–	↓
53	1	20	1.0	RECEPTACLES – KITCHEN (SM. APPL., EF-3))	54	2	60	11.5	AH-2 + 10KW
55	1	20	1.5	RECEPTACLES – KITCHEN (SMALL APPLIANCE)	56	–	–	–	↓
57	1	20	1.2	RECEPTACLE – DISHWASHER	58	2	50	7.5	CU-2
59	1	20	1.5	RECEPTACLES – KITCHEN (SMALL APPLIANCE)	60	–	–	–	↓
61	1	20	–	SPARE	62	2	60	11.5	AH-3 + 10KW
63	1	20	–	SPARE	64	–	–	–	↓
65	1	20	–	SPARE	66	2	50	7.5	CU-3
67	1	20	–	SPARE	68	–	–	–	↓
69	2	20	–	SURGE PROTECTION DEVICE	70	2	30	4.5	WH
71	–	–	–	↓	72	–	–	–	↓



DRAWINGS ARE SCHEMATIC. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DEVICE LOCATIONS AND INTERCONNECT ROUTING WITH ARCHITECTURAL AND STRUCTURAL CONFIGURATIONS AND REQUIREMENTS.



S:\2012\12-047\Drawing-Files\Rev-011\2047-1-RL.dwg, 11/20/2013 12:07:55 PM, LMW

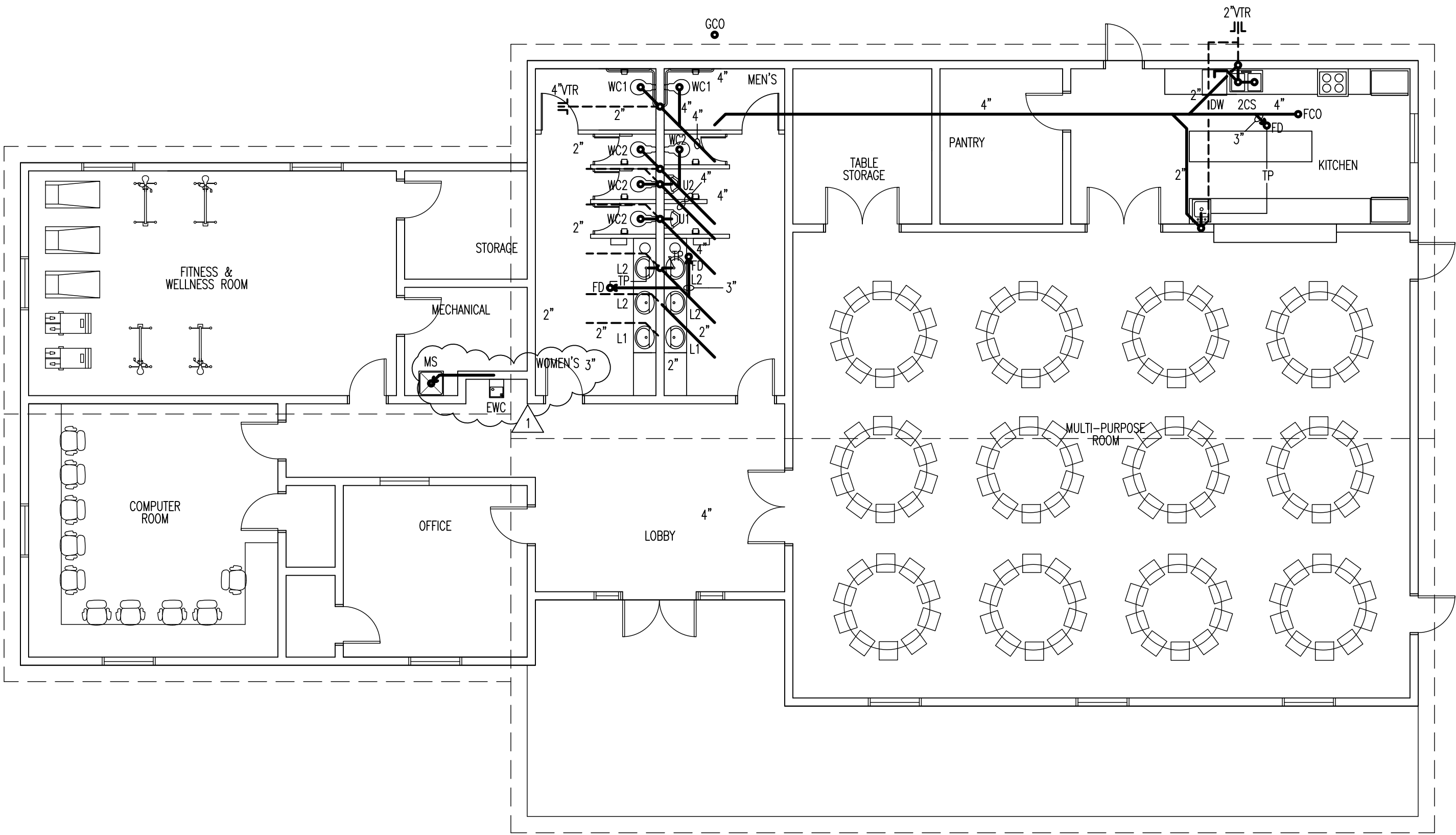


A
P-1 WASTE RISER DIAGRAM
SCALE: NTS

PLUMBING FIXTURE SCHEDULE						
SYM	DESCRIPTION	MODEL	COLD	HOT	WASTE	NOTES
WC1	WATER CLOSET, ADA RATED, FLOOR MTD, FLUSH VALVE, 1.28GPF, VITREOUS CHINA, ELONGATED BOWL	K-4405	1"	-	4"	1,13
WC2	WATER CLOSET, FLOOR MTD, FLUSH VALVE, 1.28GPF, VITREOUS CHINA, ELONGATED BOWL					
U1	URINAL, ADA RATED, WALL MTD, VIT		3/4"	2"	7,13	
U2	URINAL, WALL MTD, VITREOUS CHINA, 0.125GPF, FLUSH VALVE	ZURN 25798	3/4"	-	2"	7,13
L1	LAVATORY, ADA RATED, SELF-RIMMING, 4" CENTERS, SINGLE LEVER FAUCET, GRID DRAIN, VITREOUS CHINA	K-2196-4	1/2"	1/2"	1 1/4"	2,8,9,11,12,13,14
L2	LAVATORY, SELF-RIMMING, 4" CENTERS, SINGLE LEVER FAUCET, GRID DRAIN, VITREOUS CHINA	KOHLER K-2196-4	1/2"	1/2"	1 1/4"	8,9,12,13,14
2CS	TWO COMPARTMENT SINK, COUNTER MTD, SELF-RIMMING, 18GA STAINLESS STEEL	DL-2133-A-GR	1/2"	1/2"	1 1/2"	3,8,9,12,13,15
HS	HAND SINK, SINGLE COMPARTMENT, COUNTER MTD,		1/2"	1/2"	1 1/4"	
EWC	ELECTRIC WATER COOLER, ADA RATED, 8.0GPH	P8AC	3/4"	-	1 1/4"	7,10,13
CO	CLEAN OUT: F = FLOOR C = GRADE W = WALL	JAY R. SMITH 4020 JAY R. SMITH 4120 JAY R. SMITH 4472			4"	
FD	FLOOR DRAIN, TRAP PRIMER CONNECTION, CAST IRON BODY, NICKALOY GRID TOP					
HB	HOSE BIBB, LOOSE KEY HANDLE, ANTI-SIPHON DEVICE					
WH	WATER HEATER, 40 GALLON, (2) 4.5KW NON-SIMULTANEOUS, 120V	EPX 40 DXRT FIAT MSB2424	3/4"	3/4"		
MS	MOP SINK, FLOOR MTD, 24x24 MOLDED STONE		1/2"	1/2"	3"	10,13,16,17
NOTES: 1. SLOAN FLUSHOMETER #1111-1.28. 2. TRUEBRO LAVGUARD #103 E-Z. 3. JUST CRUMB CUP STOPPER #J-35-STP. 4. TRAP PRIMER WHERE INDICATED BY "TP" ON PLAN; JAY R. SMITH #2698. 5. IN-LINE VACUUM BREAKER, ANTI-SIPHON DEVICE, CHICAGO #E27JKOP. 6. SEAT: HEAVY DUTY SOLID PLASTIC, OPEN FRONT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE. 7. SOLID BLOCKING IN WALL FOR FIXTURE SUPPORT. 8. ANGLE STOP(S) AND FLEXIBLE SUPPLY(IES). 9. P-TRAP, 17 GAUGE, CHROME PLATED BRASS. 10. PVC P-TRAP. 11. OFFSET TAIL PIECE. 12. TEMPERATURE LIMITING CONTROL SET AT 110°F. 13. CAULK/GROUT/SEAL FIXTURE CONTACT WITH WALL/FLOOR/COUNTER, AS APPLICABLE. 14. MOEN FAUCET #8433. 15. MOEN FAUCET #8901. 16. FAUCET FIAT #830-AA WITH VACUUM BREAKER, INTEGRAL STOPS. 17. STAINLESS STEEL DOME STRAINER.						

PLUMBING WASTE NOTES
1. INSTALL "TRAP SEAL" IN LIEU OF TRAP PRIMER.

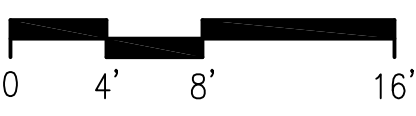
PLUMBING LEGEND	
— SAN SEWER	WATER HAMMER ARRESTOR PISTON TYPE.
--- SAN VENT	WC WATER CLOSET
--- COLD WATER	L LAVATORY
--- HOT WATER	EWC ELECTRIC WATER COOLER
TP TRAP PRIMER	SS SANITARY SEWER
GATE VALVE	VTR VENT THRU ROOF
CHECK VALVE	U URINAL
DOUBLE CHECK VALVE BACKFLOW PREVENTER	S SINK
PIPE DOWN	WH WATER HEATER
PIPE UP	CO CLEAN OUT (F=FLOOR,G=GRADE,W=WALL)
PIPE CAP	FD FLOOR DRAIN
PIPE TEE	HD HUB DRAIN
PIPE ELBOW	AC ABOVE CEILING
HB HOSE BIBB	HS HAND SINK
P-TRAP	2CS TWO COMPARTMENT SINK
P&T PRESSURE/TEMPERATURE RELIEF VALVE	1 MS MOP SINK



1
P-1 FIRST FLOOR PLAN — PLUMBING WASTE
SCALE: 1/8" = 1'-0"

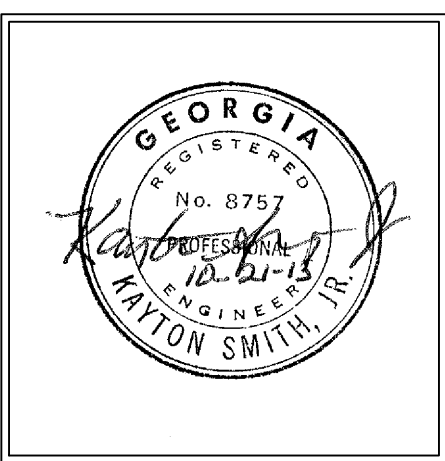
SMITH and VANDENBULCK
ENGINEERING and LANDSCAPE ARCHITECTURE
A DIVISION OF SAW ENGINEERING, INC.
5 OGLETHORPE PROFESSIONAL BOULEVARD, SUITE 130
SAVANNAH, GEORGIA 31406
PHONE: 912-354-5249 FACSIMILE: 912-352-8429
PROJECT #2012-047

GENERAL NOTE:
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Architects

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consultants:	

revision	date	description
	11/20/13	ADDED MOP SINK

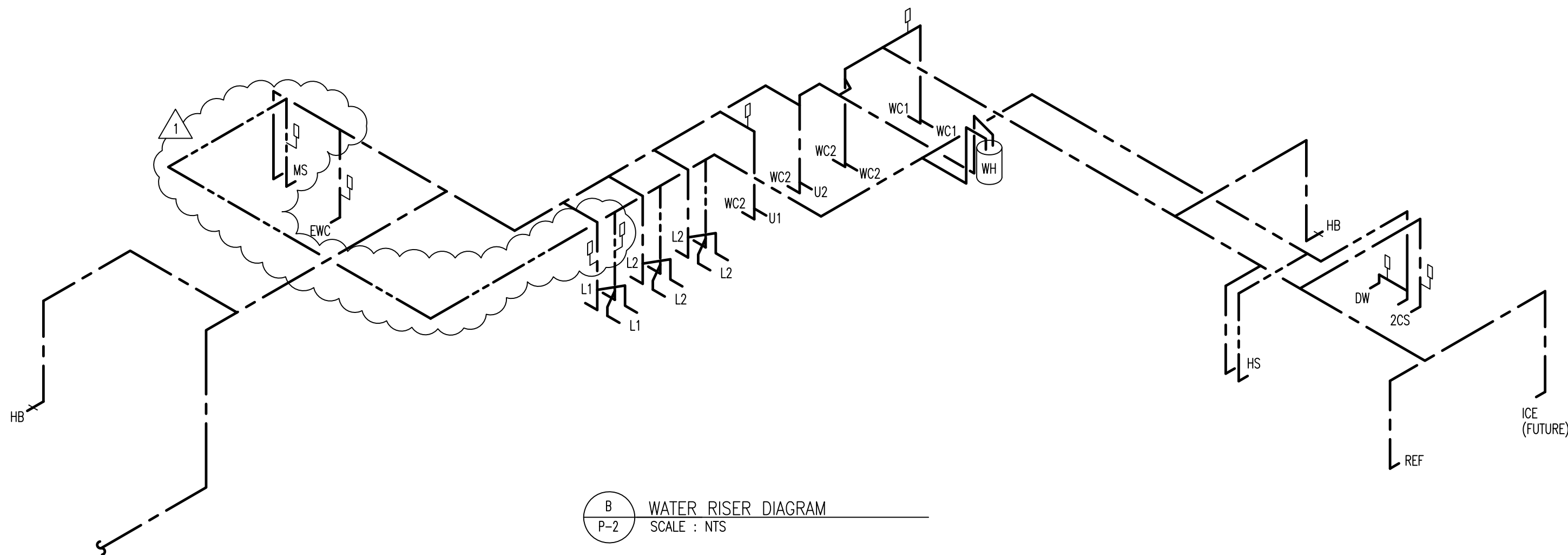
CLOVERDALE COMMUNITY CENTER
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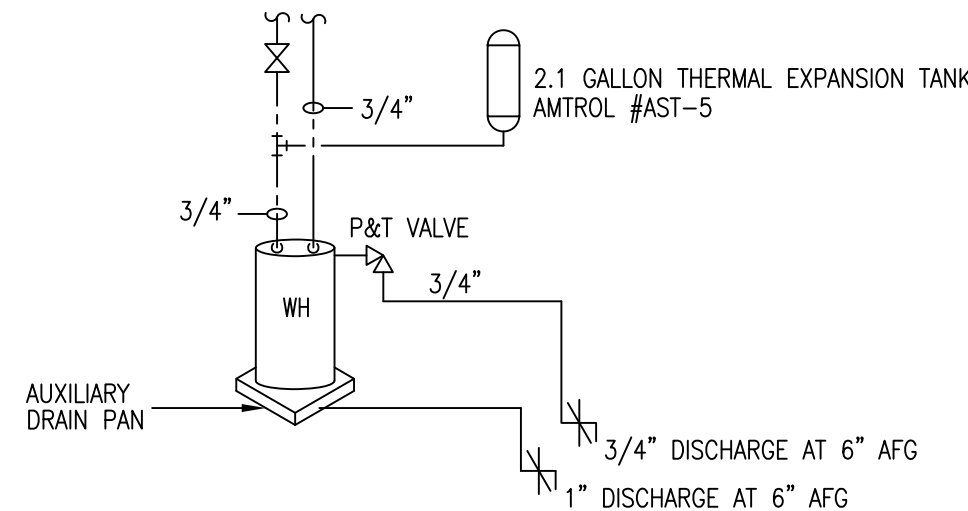
date: 10/21/13
job number: 1207
drawn by: LMW
checked by: KS

SHEET:
P-1
OF:

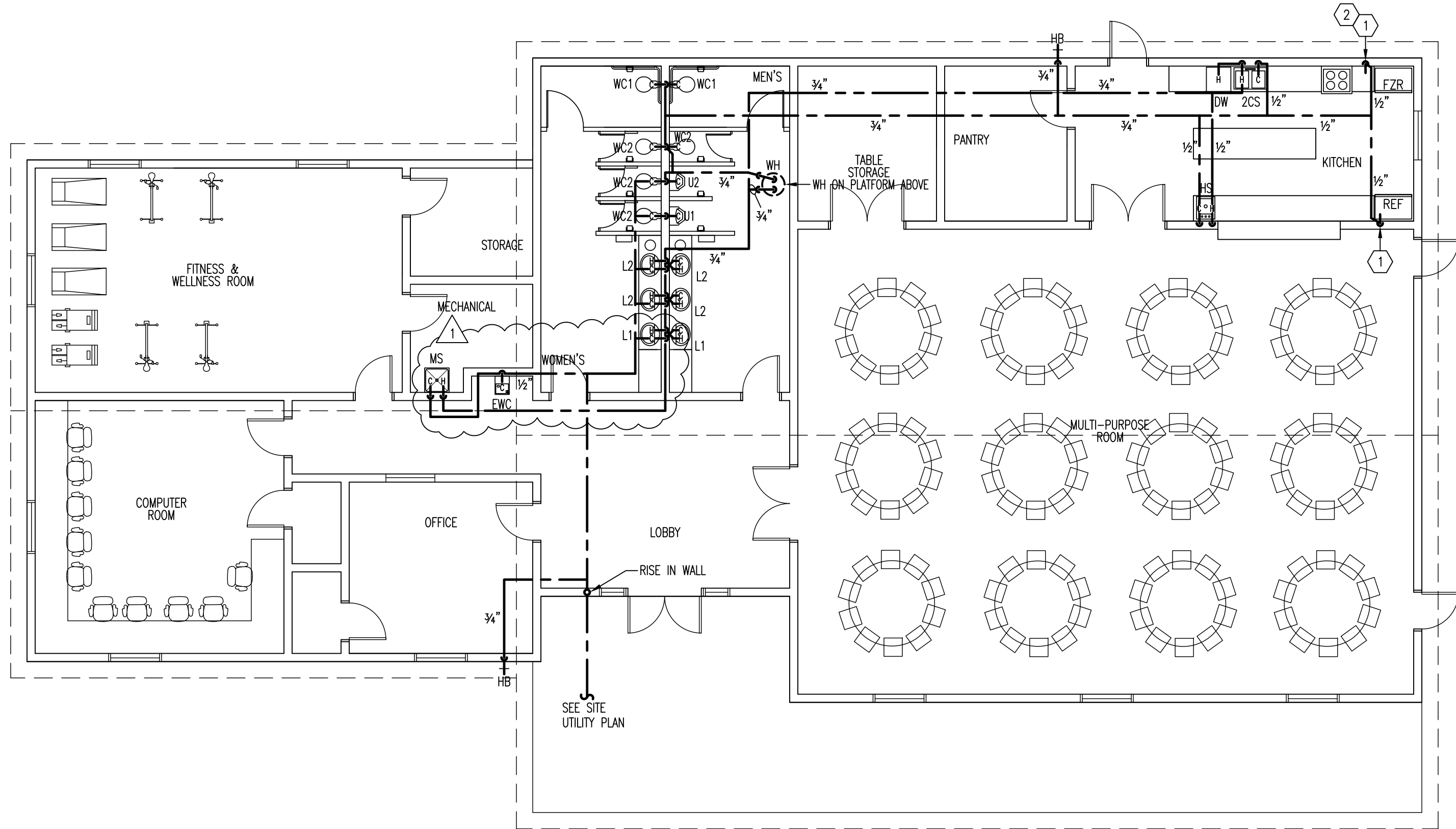
S:\2012\12-047\Drawing-Files\Rev-011\2047-1-RL.dwg, 11/20/2013 12:08:23 PM, LMW



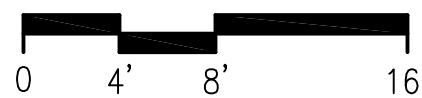
B
P-2
WATER RISER DIAGRAM
SCALE : NTS



A
P-2
WATER HEATER DETAIL
SCALE : NTS



1
P-2
FIRST FLOOR PLAN - PLUMBING WATER
SCALE : 1/8" = 1'-0"



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ENGINEERING and LANDSCAPE ARCHITECTURE

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PROJECT #2012-047



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consultants:		

revision	date	description
1	11/20/13	ADDED WOP SINK

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job number: 1207
drawn by: LMW
checked by: KS

SHEET:
P-2
OF: -

CLOVERDALE COMMUNITY CENTER
PROJECT NUMBER 1207

SECTION 07200 – ICON CMU INSERTS

PART 1 – GENERAL

1.00 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
- B. Section 4200 – Unit Masonry

1.01 SUMMARY

- A. Section provides for pre-installed individually molded, single face, compression-fit, expanded polystyrene insulation inserts for concrete masonry units.

1.02 REFERENCES

- A. American Society for Testing and Materials
 - 1. ASTM C 578-91 – Specification for Rigid Cellular Polystyrene Thermal Insulation
 - 2. ASTM C 272 – Standard Test Method for Water Absorption of Core Materials for Structural Sandwich Constructions
 - 3. ASTM E 84 – Flame Spread Characteristics
 - 4. ASTM C 303 – Test Method for Density of Preformed Block-type Thermal Insulation

1.03 SUBMITTALS

- A. Product Data: Spec-Data[®] Sheet and installation procedures.
- B. Test Reports: Wall system thermal performance test data, Building Code Listings, and other applicable testing by independent testing laboratories which are available on request from Grace Construction Products.
- C. Certification of compliance with Performance Requirements.

1.04 WARRANTY

- A. Warrant that Icon inserts are free of defects and are manufactured to meet physical properties and material specifications.

PART 2 – PRODUCTS

2.01 MATERIALS

- A. Description: Inserts complying with ASTM C 578-91; Standard Type I.
- B. Performance Requirements:
 - 1. Moisture Absorption: ASTM C 272 – < 2.0% by volume
 - 2. Flame Spread Characteristics: ASTM E 84 – Flame Spread – 5; Smoke Developed-40.

Icon® Concrete Masonry Unit Insulation

3. Insulation Characteristics: Total R-Value = $1.03 \text{ m}^2 \cdot \text{K/W}$ (5.83), and U-Value = $.97 \text{ W}/(\text{m}^2 \cdot \text{k})$ (0.17) for 203 mm (8") CMU [density 1682 kg/m^3 (105 lbs.)] with insert installed.
 4. Drainage: Allows full drainage of water in cores of masonry units.
 5. Rot & Vermin Resistance: Produced from expanded polystyrene – fully resistant to rot; does not attract vermin, termites or rodents.
 6. Density: ASTM C 303 – 14.4 kg/m^3 to 18.3 kg/m^3 (0.90 to 1.3 lb./cu. ft.)
 7. Components: Insulation shall contain no fluorocarbons and no formaldehyde.
 8. Shape: Compressable insert allowing tight fit with inside faces of both webs of the CMU core, placed adjacent to the face of the block indicated on the Construction Documents.
- C. Product: Icon® single face inserts manufactured by Concrete Block Insulating Systems & available from Grace Construction Products.

PART 3 – EXECUTION

3.01 EXAMINATION

- A. Examine conditions, with installer present, for compliance with requirements for installation tolerances and other specific conditions, and other conditions affecting performance of unit masonry.

3.02 INSTALLATION

- A. General: Inserts shall be pre-installed by CMU manufacturer prior to delivery to jobsite.
- B. Unless otherwise indicated on Construction Documents, inserts shall be left in place when grouting.

End of Section

CLOVERDALE COMMUNITY CENTER
PROJECT NUMBER 1207

SECTION 07610 - SHEET METAL ROOFING

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Aluminum roofing.
 - 2. Underlayment.
 - 3. Flashings, trim, and accessories.
- B. Related Sections:
 - 1. Division 01: Administrative, procedural, and temporary work requirements.

1.2 REFERENCES

- A. American Society of Civil Engineers (ASCE) 7 - Minimum Design Loads for Buildings and Other Structures.
- B. ASTM International (ASTM):
 - 1. A755/A755M - Standard Specification for Steel Sheet, Metallic Coated by the Hot-Dip Process and Prepainted by the Coil-Coating Process for Exterior Exposed Building Products.
 - 2. B117 - Standard Practice for Operating Salt Spray (Fog) Apparatus.
 - 3. D523 - Standard Test Method for Specular Gloss.
 - 4. D1308 - Standard Test Method for Effect of Household Chemicals on Clear and Pigmented Organic Finishes.
 - 5. D2247 - Standard Practice for Testing Water Resistance of Coatings in 100% Relative Humidity.
 - 6. D2794 - Standard Test Method for Resistance of Organic Coatings to the Effects of Rapid Deformation (Impact).
 - 7. D3359 - Standard Test Methods for Measuring Adhesion by Tape Test.
 - 8. D3363 - Standard Test Method for Film Hardness by Pencil Test.
 - 9. E84 - Standard Test Method for Surface Burning Characteristics of Building Materials.
 - 10. E1592 - Standard Test Method for Structural Performance of Sheet Metal Roof and Siding Systems by Uniform Static Air Pressure Difference.
 - 11. G53 - Practice for Operating Light- and Water-Exposure Apparatus (Fluorescent UV-Condensation Type) for Exposure of Nonmetallic Materials.

1.3 SYSTEM DESCRIPTION

- A. Design Requirements; design roof system to withstand:
 - 1. Live and dead loads in accordance with Building Code.
 - 2. Minimum wind pressures in accordance with Building Code, tested in accordance with ASTM E1592.
 - 3. Movement caused by an ambient temperature range of 120 degrees F and a surface temperature range of 160 degrees F.

1.4 SUBMITTALS

- A. Submittals for Review:
 - 1. Shop Drawings: Include dimensioned layout showing locations of seams, accessories, gage of metal, fastening methods, provisions for expansion and contraction, and details of joints.
 - 2. Samples: Each profile proposed for use.

1.5 PROJECT CONDITIONS

- A. Do not apply underlayment at ambient or surface temperatures less than 40 degrees F or on wet or frozen substrate.
- B. Do not install roofing on wet or frozen substrate.

1.6 WARRANTIES

- A. Furnish manufacturer's 20 year warranty providing coverage against water leakage through roofing system. Include roof panels and side seams, panel end laps, roof-to-wall flashings, ridge flashings, hip flashings, valley flashings, high-side eave flashings, rake flashings, expansion joint flashings, and manufacturer-approved curb and penetration flashings.
- B. Furnish manufacturer's 25 year, 6 month limited warranty providing coverage against rupture, structural failure, or perforation of acrylic-coated aluminum-zinc alloy coated steel sheet due to corrosion.
- C. Furnish manufacturer's 35-year limited warranty providing coverage against chipping, cracking, peeling, flaking, or checking of PVDF-coated [aluminum-zinc alloy coated steel] [aluminum] sheet.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Aluminum Sheet:
 - 1. ASTM B209, alloy 3105, temper H14, H22, or H24, [0.032] [0.040] [0.050] [0.063] inch thick.

2.2 ACCESSORIES

- A. Underlayment: As recommended by the manufacturer.
- B. Panel Clips: Stainless steel, thermally responsive.
- C. Fasteners: Same material and finish as sheet metal, with neoprene gasketed washers where exposed.
- D. Underlayment Fasteners: Hot dip galvanized steel, length to penetrate minimum 3/4 inch into sheathing.
- E. Joint Sealers: As recommended by the manufacturer.
- F. Touch-Up Pens: CoolR touch up pens provided by manufacturer in color to match panel finish.

2.3 FINISHES

- A. Panels and Trim: ASTM A755/A755M; CoolR fluoropolymer coating applied to sheets in coil form, Colonial Red color.
- B. Panels and Trim: ASTM A755/A755M; CoolR fluoropolymer coating applied to sheets in coil form, Colonial Red color.
- C. Coating Performance Requirements:
 - 1. Specular gloss: 25 to 35 at 60 degrees; tested to ASTM D523.
 - 2. Abrasion resistance: Total 67 liters sand plus or minus 10 liters; tested to D968.
 - 3. Acid resistance: Tested to D1308.
 - a. 10 percent hydrochloric acid at 24 hours: No visible change.
 - b. 20 percent hydrochloric acid at 18 hours: No visible change.
 - c. 20 percent sulfuric acid at 18 hours: No visible change.
 - d. 25 percent sodium hydroxide at 1 hour: No visible change.
 - e. 20 percent muriatic acid at 15 minutes: No visible change.

4. Humidity resistance: 3000 hours, Rating 10, no blisters; tested to D2247.
5. Impact resistance: 3.0 times metal thickness in inch-pounds without loss of adhesion; tested to D2294.
6. Adhesion: No loss of adhesion; tested to ASTM D3359.
7. Pencil hardness: Hb minimum; tested to ASTM D3363.
8. Surface burning characteristics: Class A; tested to ASTM E84.
9. Accelerated weathering: 2000 hours, No. 8 chalk, Color 2 E; tested to ASTM G53.
10. Formability: 1/8 inch madrel, no cracking or loss of adhesion; tested to ASTM D522.
11. Salt spray resistance: 1000 hours, Scribe 7, 1/16 inch blisters, Field 10, no blisters; tested to ASTM B117.

D. Panels and Trim: High-performance clear acrylic coating.

PART 3 - EXECUTION

3.1 INSTALLATION OF UNDERLAYMENT

- A. Starting at low edge, apply one 18 inch wide strip of underlayment horizontally over substrate. Apply following strips full 36 inch width; weatherlap preceding strip by 19 inches so that not less than two plies cover substrate at any point.
- B. Lap ends 6 inches minimum.
- C. Fasten top of each strip under overlapping strip to hold strip in position until roofing is installed.
- D. Provide 18 inch weave pattern at valleys.
- E. Lap underlayment minimum 12 inches over hips and ridges from both sides. Apply 36 inch wide strip centered lengthwise over ridge. Nail at 12 inches on center on each side.
- F. Extend minimum 4 inches up abutting vertical surfaces.

3.2 INSTALLATION OF ROOFING

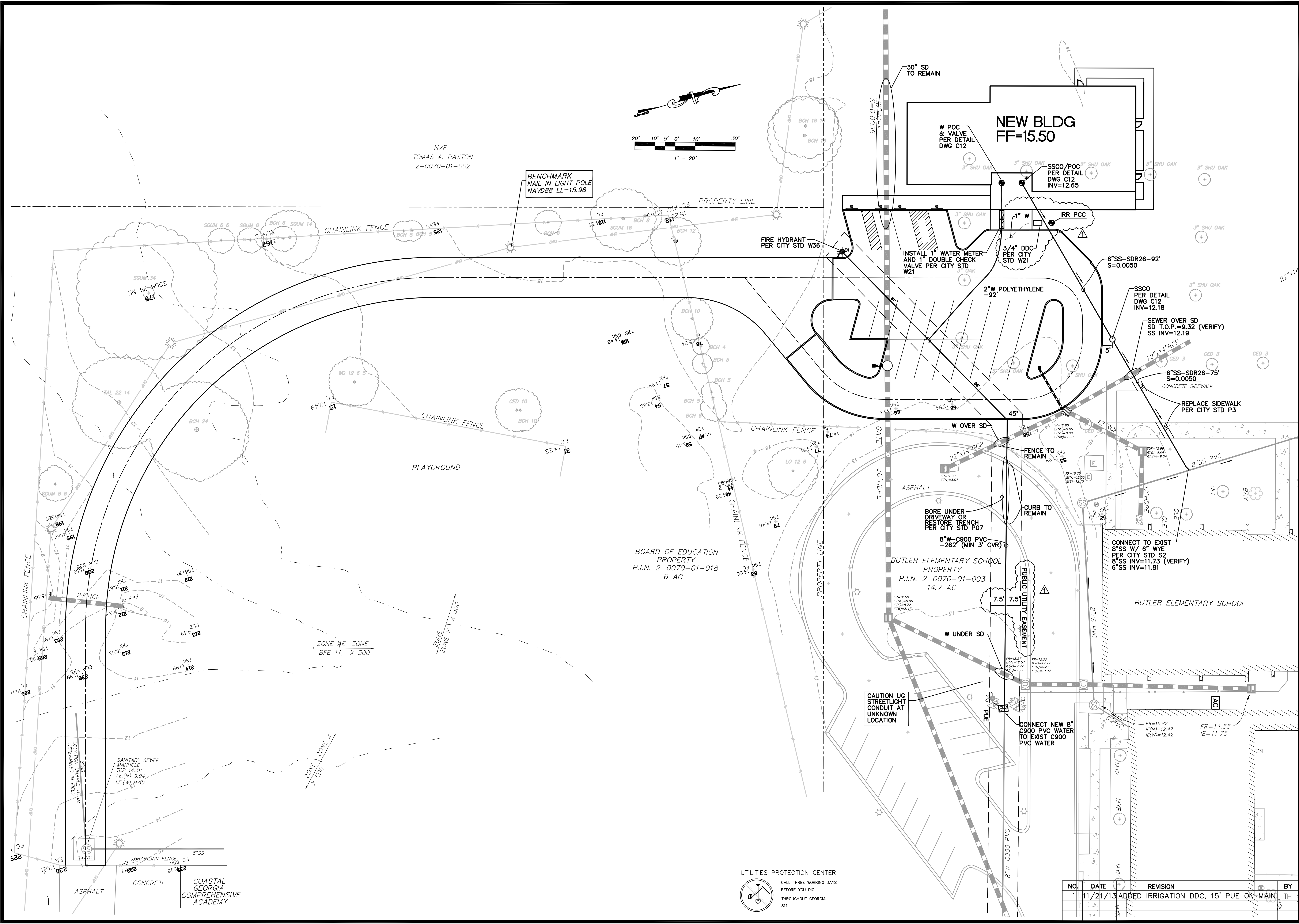
- A. Fabricate roofing panels using approved roll forming equipment.
- B. Form roofing to provide 1-1/2 inch high standing seams spaced nominally 18 inches on center.
- C. Form panels in single lengths from eave to ridge.
- D. Form sections true to shape, accurate in size, square, and free from distortion and defects.
- E. Apply roofing panels beginning at low edge of roof.
- F. Panel end joints not permitted.
- G. Fit flashings with square corners and surfaces true, aligned, and accurate to required profiles.
- H. Fasten panels to supports using concealed panel clips. Exposed fasteners permitted on trim members only.
- I. Install trim to maintain visual continuity of system.
- J. Install joint sealers and gaskets to prevent water penetration.
- K. Flash penetrations through roofing with metal trim to match panels:
 1. Lap flashings over roof panels 12 inches minimum on all sides and seal with double bead of joint sealer.
 2. Install metal draw band and joint sealer at top of pipe penetrations.
 3. Install water diverter at uphill side of square and rectangular penetrations.
- L. Installation Tolerances:
 1. Variation from location: Plus or minus 1/4 inch.

2. Variation from plane: 1/4 inch in 10 feet.

3.3 ADJUSTING

- A. Touch up field cuts and abrasions to match factory finish using touch-up pens.

END OF SECTION 07 6100



LOMINACK
KOLMAN
SMITH
ARCHITECTS

COASTAL

Civil Engineering

210 East Bay Street
Savannah, GA 31401
Tel 912-232-9402 Fax 912-232-9403

REGISTERED PROFESSIONAL ENGINEER

NO. 024892

THOMAS G. COASTAL

CLOVERDALE COMMUNITY CENTER

P.I.N. 2-0070-01-003

SAVANNAH, GA

1908 CYNTHIA STREET

DATE 10/16/13

DRAWN BY JH

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DRAWING NUMBER

C5 of C13

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NO.	DATE	REVISION	BY
1	11/21/13	ADDED IRRIGATION DDC, 15' PUE ON MAIN	TH

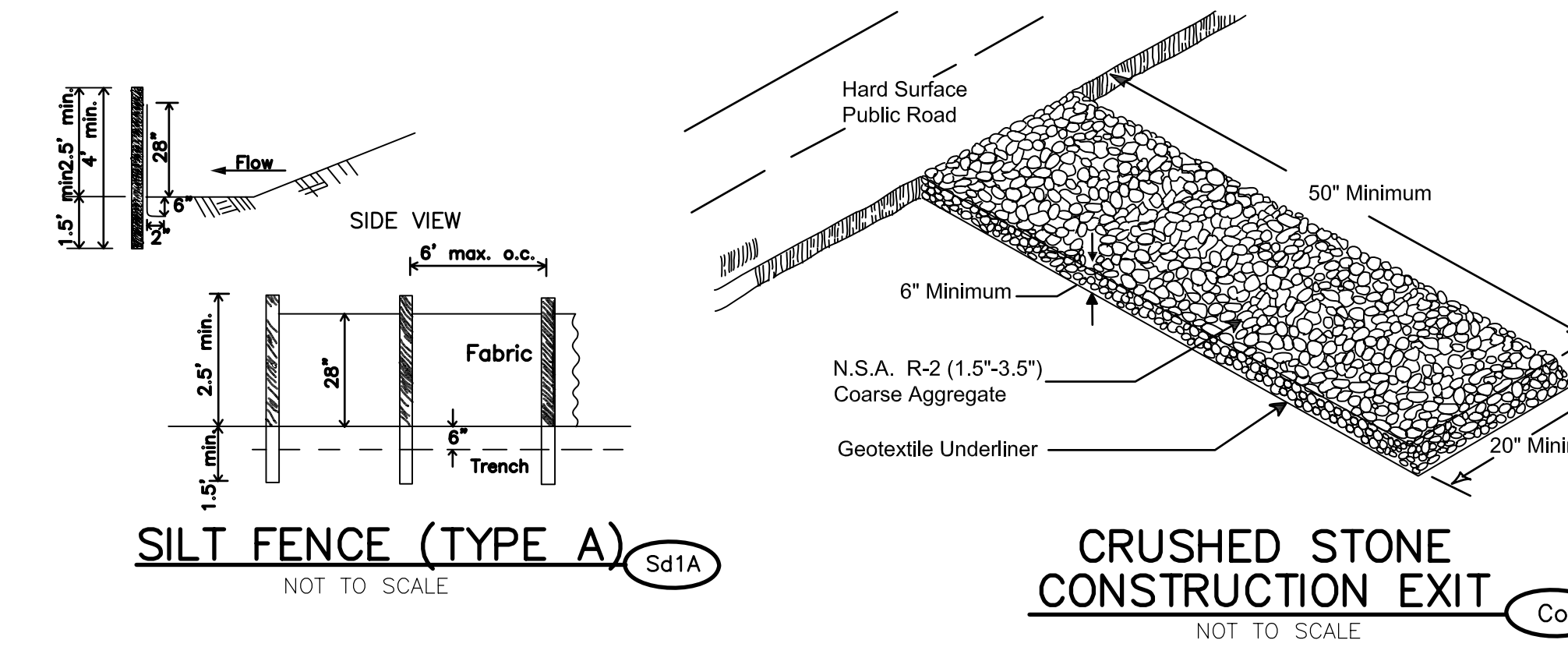
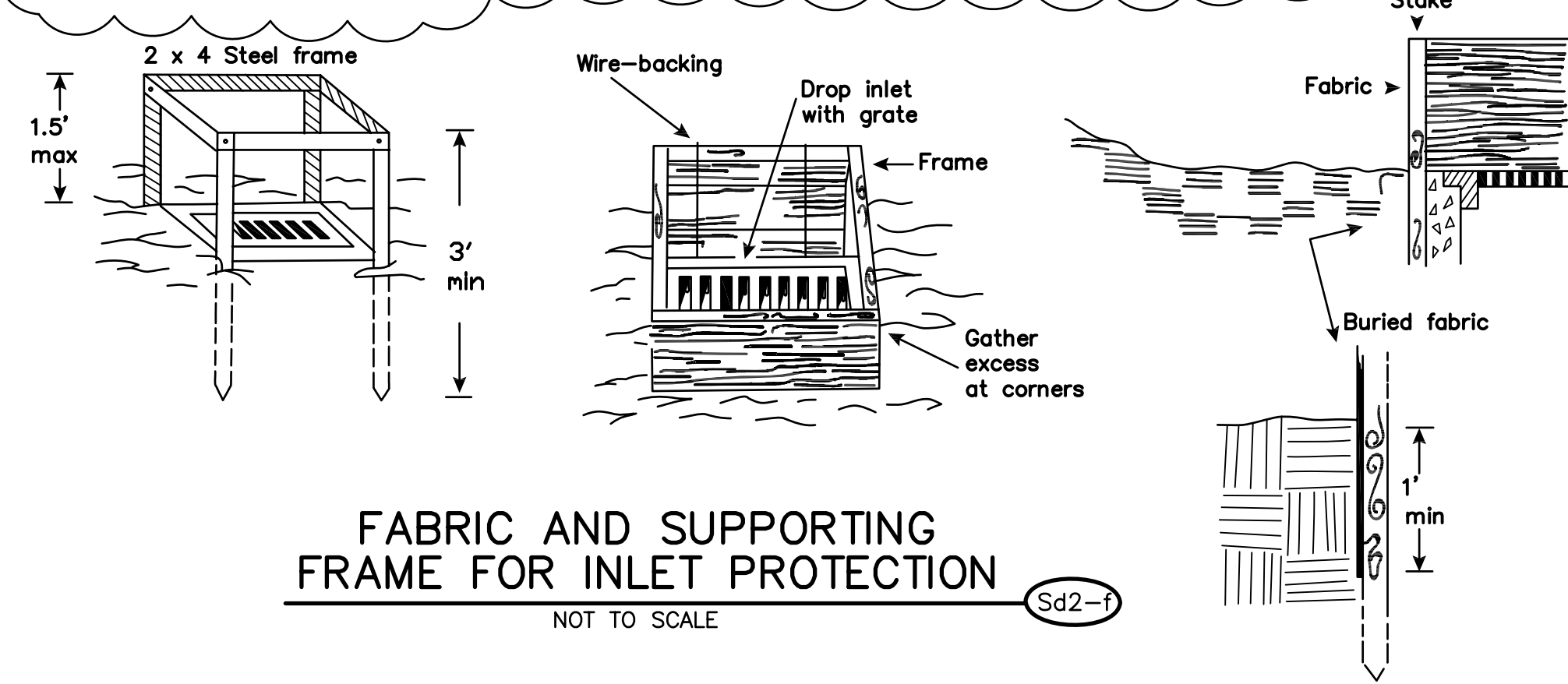
EROSION CONTROL NOTES

1. Contractor shall install and maintain erosion control measures at all times. If full implementation of the approved plan does not provide for effective erosion control, additional sediment and erosion control measures shall be implemented to control or treat the sediment source.
2. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with land disturbing activities.
3. All grassing shall be in accordance with the Georgia Department of Transportation Specifications, latest edition.
4. Temporary grass seed shall be per chart below. Permanent grass seed shall be selected by the owner.
5. Seed and fertilizer shall be either applied mechanically or by hydro-seeding. Hydro-seeding requires the application of fiber and stabilizing emulsion. Mechanical application shall require rolling, tamping, or otherwise working the seed and fertilizer into the soil.
6. Additionally, after seeding fill slopes, straw shall be applied at the rate specified below and incorporated into the soil. In lieu of straw, the Contractor may hydro-seed disturbed areas incorporating stabilizing emulsion.

ITEM	SPREAD RATE (Pounds per acre)
Grass Seed	Per table below
Fertilizer (16-20-0 &15% Sulfur)	500
Straw	4,000
Fiber (For Hydro Seeding)	500

Stabilizing emulsion (for hydro-seeding) shall be installed per manufacturer's recommendations. Emulsion shall be non-asphaltic, and derived from plants.

7. Construction activities shall be scheduled to minimize erosion.
8. Only disturb, clear, or grade areas necessary for construction.
9. Use grooving or tracking to roughen the face of slope to facilitate vegetation establishment. Apply seed, fertilizer and straw mulch and then track or punch in mulch with bulldozer on 3:1 or steeper slopes.
10. After any rainfall inspect any structure used to trap sediment and clean out or repair promptly. Inspect channels at regular intervals and after significant storms. Remove debris, if necessary and make needed repairs. Repair eroded areas promptly.
11. Soils on site are Type OJC (Ocilla-Urban Land Complex) soils, which are in hydrologic group C.
12. Silt fence/straw wattles shown on plans represent limits of disturbance.
13. Storm water leaving the existing site flows towards and existing 24" RCP storm drain culvert to the south and into a 30" HDPE that flows to a detention pond just west of the new building.
14. The first order of work shall be the erection of tree protection fencing.
15. Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.
16. Any amendments or revisions to this ES&PC plan which have significant impact to hydraulics must be certified by the design professional
17. The project designer certifies that this ES&PC plan provides for a comprehensive system of BMP's and sampling to meet permit requirements as stated on pages 12-13 of permit.
18. The design professional who prepared the ES&PC plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within seven days after installation.
19. Waste materials shall not be discharged into waters of the State during the course of work on this project.
20. This ES&PC plan is in compliance with waste disposal and sanitary sewer regulations.
21. Any petroleum spills or leaks that occur during the course of construction shall be isolated and removed immediately from the project site. Contaminated material shall be disposed of in a landfill approved for acceptance of the material.
22. There are no State waters on or within 200' of the project site.
23. Stormwater run off from this site is eventually received by the Musgrave Canal. This canal discharges into the Springfield Canal, and then into the Savannah River.
24. The contractor shall maintain appropriate dust control (Du) in accordance with local ordinances and requirements. Dust control shall be provided by irrigation, temporary mulching (Ds1), temporary seeding (Ds2) or spray on adhesives (Tb).
25. Concrete Truck Washing- NO concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite.



EROSION CONTROL DETAILS

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW BUILDING AND PARKING LOT LOCATED ADJACENT TO BUTLER ELEMENTARY SCHOOL IN THE CLOVERDALE NEIGHBORHOOD.

THIS FACILITY WILL BE OPERATED AS A COMMUNITY CENTER.

REQUIRED INSPECTIONS

Daily Inspections Weekly or After	Weekly or After 0.5" Min Rainfall Event	Monthly
All areas where petroleum products are stored, used or handled for spills or leaks from vehicles	All areas that have not undergone final inspection	All areas that have undergone final stabilization
All locations where vehicles leave or enter the site	All materials storage areas exposed to precipitation that have not undergone final stabilization	
Rainfall for each 24-hour period	Structural control measures.	

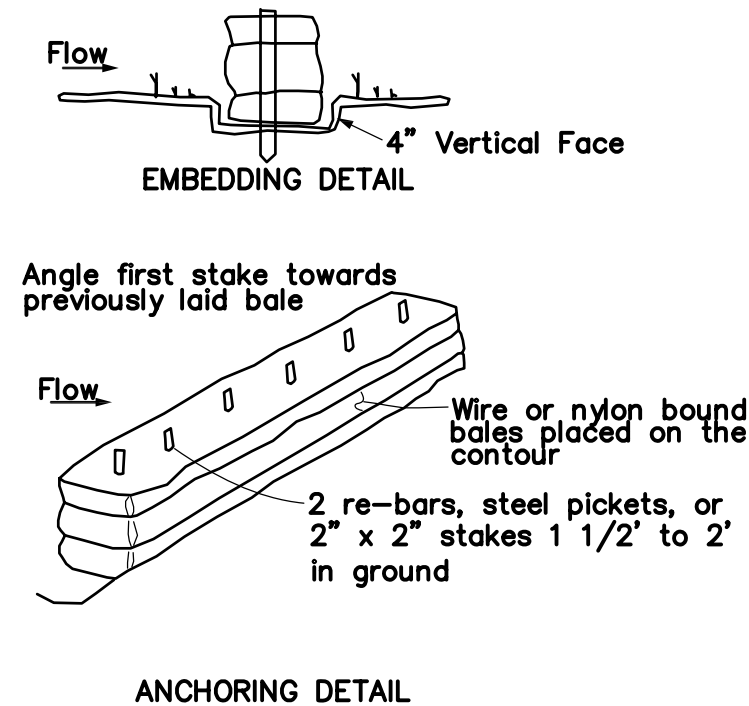
Records of required inspections and sampling must be maintained in accordance with NPDES requirements.

REQUIRED SAMPLING

1. Turbidity sampling is required in accordance with NPDES Genral Permit GAR100001.
2. Two sampling events are required over the course of the project at the indicated locations on the plan:
- a) First rainfall event greater than 0.5" after all clearing and grubbing operations are complete.
- b) First rainfall event greater than 0.5" after all mass grading operations have been completed.
3. Samples shall be analyzed for turbidity in accordance with Appendix B. Turbidity shall not exceed indicated values. Samples shall be collected in accordance with NPDES requirements. Based on a total construction site area between 1 and 10 acres, and a total surface water drainage area of 0-4.99 square miles, the NTU value is 75.
4. All analyzed samples shall be reported in accordance with NPDES requirements.

TEMPORARY SEEDING

MONTH OF PLANTING	GRASS TYPE	RATE/ACRE ALONE	MIX
JANUARY	RYEGRASS	40 LBS.	10 LBS.
FEBRUARY	ANNUAL LESPEDEZA RYE	40 LBS. 168 LBS	10 LBS. 28 LBS
MARCH	WEEPING LOVEGRASS	4 LBS.	2 LBS.
APRIL-MAY	WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	60 LBS. 40 LBS.	10 LBS.
JUNE, JULY AUGUST	SUDAN GRASS OR BROWN TOP MILLET	60 LBS. 40 LBS.	10 LBS.
SEPTEMBER	RYEGRASS OATS	128 LBS	16 LBS.
OCT, NOV DECEMBER	RYEGRASS, OATS RYE, WHEAT	180 LBS	16 LBS.



NOTE:
Anchor and embed into soil to prevent washout or water working under barrier
Repair or replacement must be made promptly as needed

STAKED HAYBALE BARRIERS

CONTACT INFORMATION

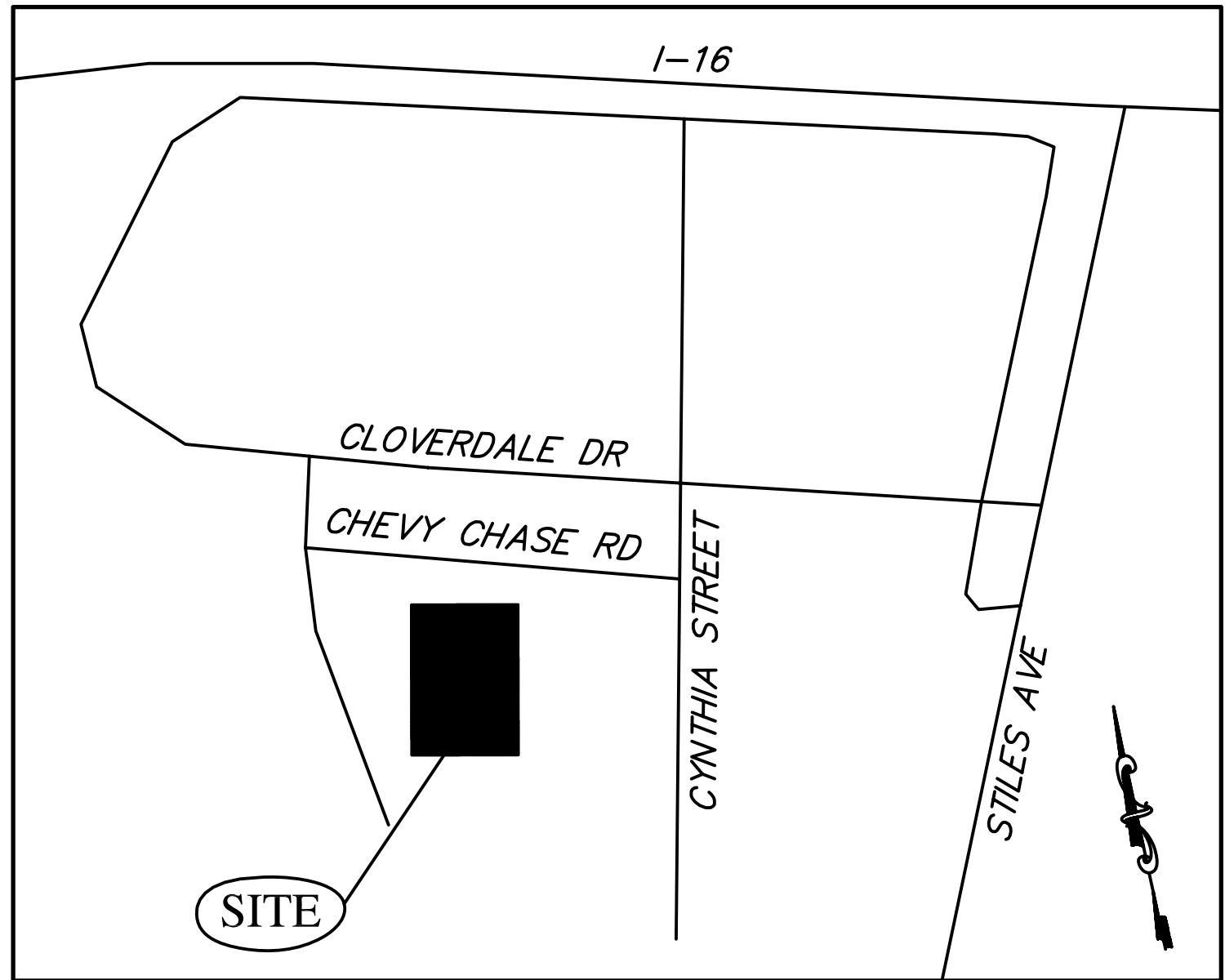
DEVELOPER/OWNER
GREGORI ANDERSON
BUILDING SAFETY AND
REGULATORY SERVICES
1117 EISENHOWER DRIVE
SAVANNAH, GA 31406
TEL 912-201-4300

24 HOUR EROSION CONTROL CONTACT
GREGORI ANDERSON
BUILDING SAFETY AND
REGULATORY SERVICES
1117 EISENHOWER DRIVE
SAVANNAH, GA 31406
TEL 912-201-4300

TOTAL PROPERTY AREA: 20.70 ac
TOTAL DISTURBED AREA: 1.20 ac

The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.

IN CHATHAM COUNTY, GA



DRAINAGE DATA

DISTURBED AREA= 1.20 ac
FEMA FLOOD ZONE X
PER FIRM MAP 1305IC0153F
DATED 9/26/08

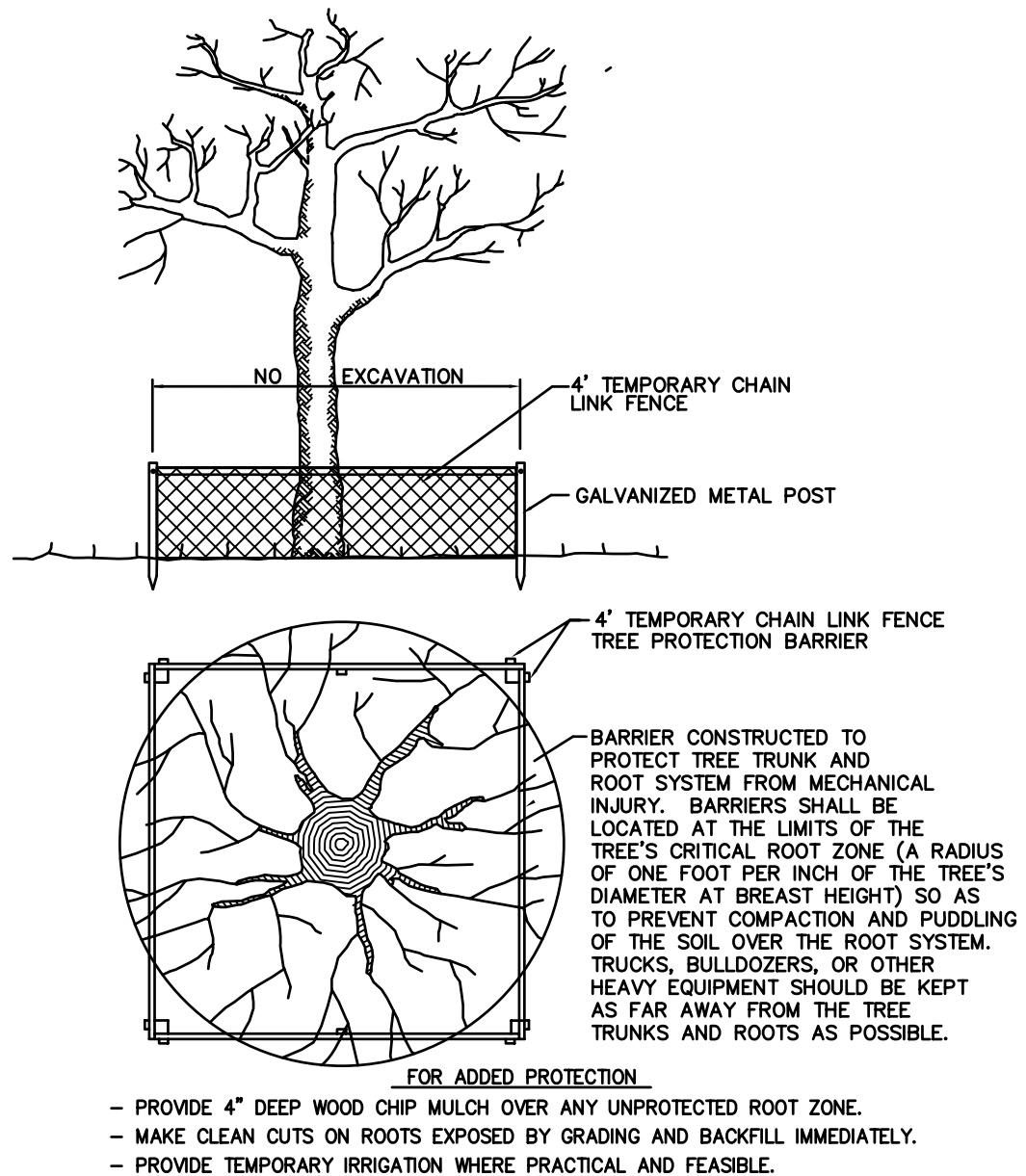
IMPERVIOUS AREA
PRE-PROJECT=0.00 ac
POST PROJECT=0.47 ac

PERVIOUS AREA
PRE-PROJECT=120 ac
POST PROJECT=0.73 ac

PRE-DEVELOPMENT RUNOFF
25 YEAR VOLUME=26,583 CF
25 YEAR PEAK=5.39 CFS

POST-DEVELOPMENT RUNOFF
25 YEAR VOLUME=30,557 CF
25 YEAR PEAK=6.05 CFS

DETENTION



STANDARD CONSTRUCTION DETAILS	
TREE PROTECTION	
APPROVED:	SIGNATURE ON FILE CITY ENGINEER
SCALE: N.T.S.	DATE: JUNE 2005
T2	

Storage Calculations

1. Drainage area = 1.20 acres
2. Required sediment storage = 67 cy/ac* drainage area
Required sediment storage = 67 cy/ac* 1.20 ac = 80 cy
Required sediment storage = 80cy = 2160 cf
Provided with silt fence
- 1,760' long triangle=length of silt fence
V=[B*W x 0.5*H x 1,760'L].5= 3,520 cf
3,520 cf = 130 cy > 80 cy = ok

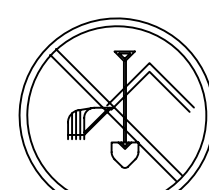
EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

PROPOSED SCHEDULE

	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG
Clearing and Grubbing										
Silt Fence Erection										
Site Development										
Building Construction										
Remove Temp Controls										
Final Landscaping										
BMP Maintenance										

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NO.	DATE	REVISION	BY
1	11/21/13	ADDED DRAINAGE DATA	TH
1	11/21/13	NOTATION REVISION	TH

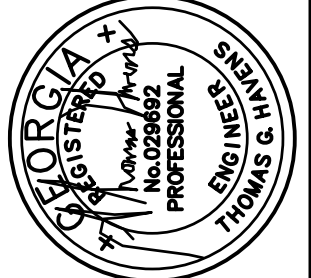
I certify under penalty of law that this plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my supervision.

Thomas G Havens, PE
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 00000161162

LOMINACK
KOLMAN
SMITH

ARCHITECTS

COASTAL
Civil Engineering
Savannah, GA 31401
Tel 912.232.9402 Fax 912.232.9403



LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 00000161162

CLOVERDALE COMMUNITY CENTER
P.I.N. 2-0070-01-003
1909 CYNTHIA STREET
SAVANNAH, GA

EROSION AND SEDIMENT CONTROL DETAILS

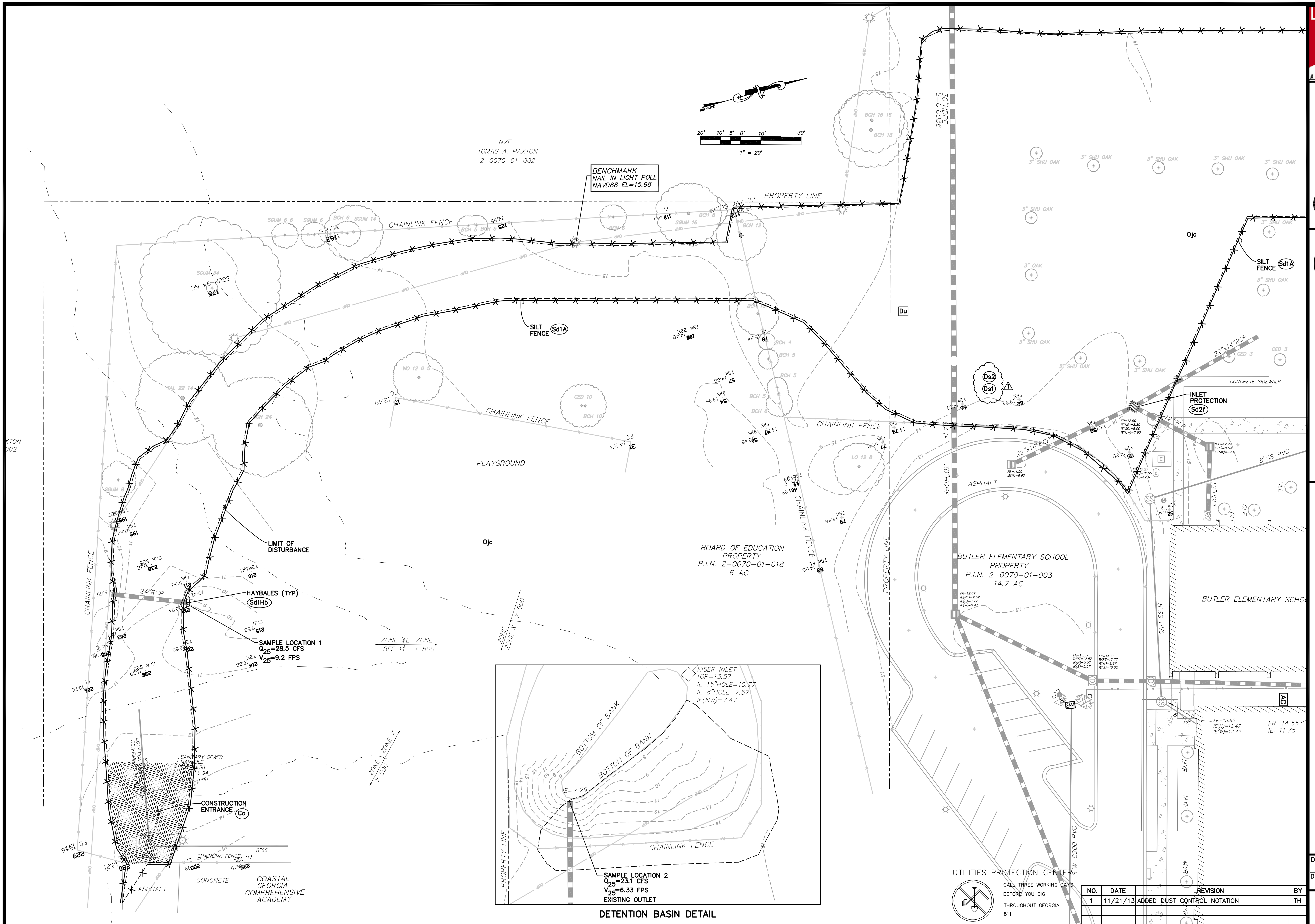
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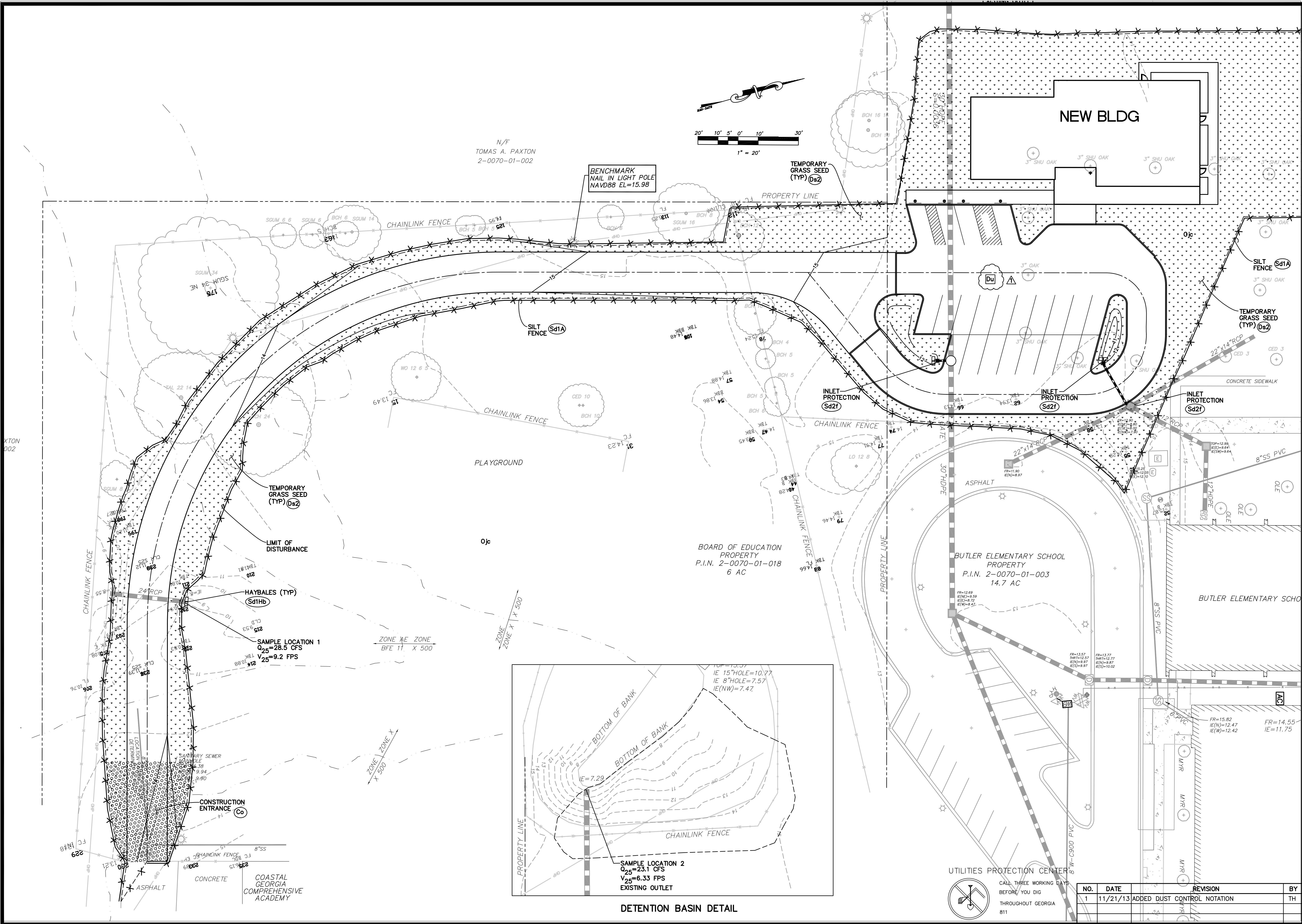
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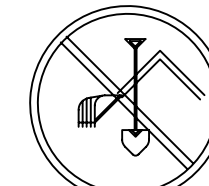
C7 of C13





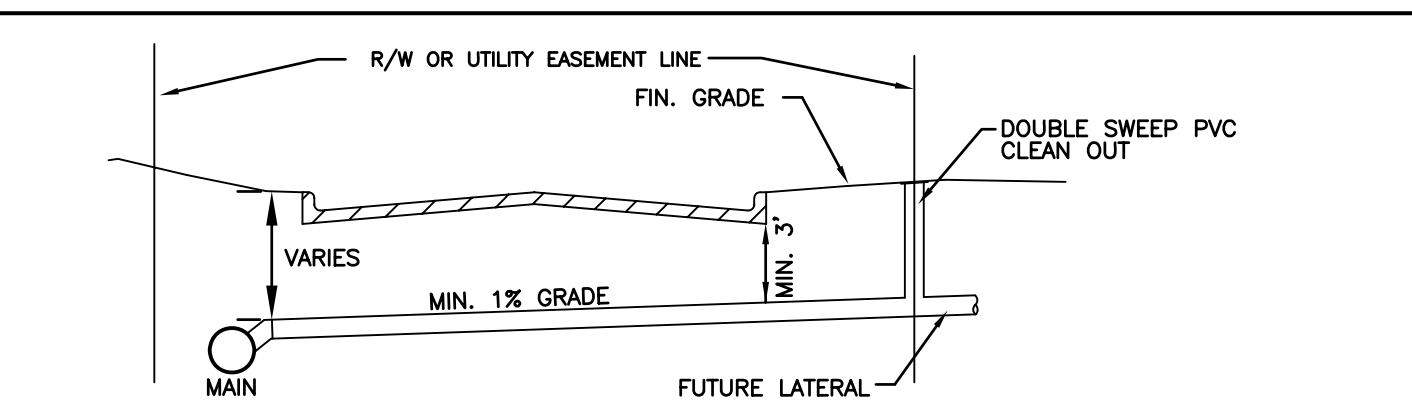
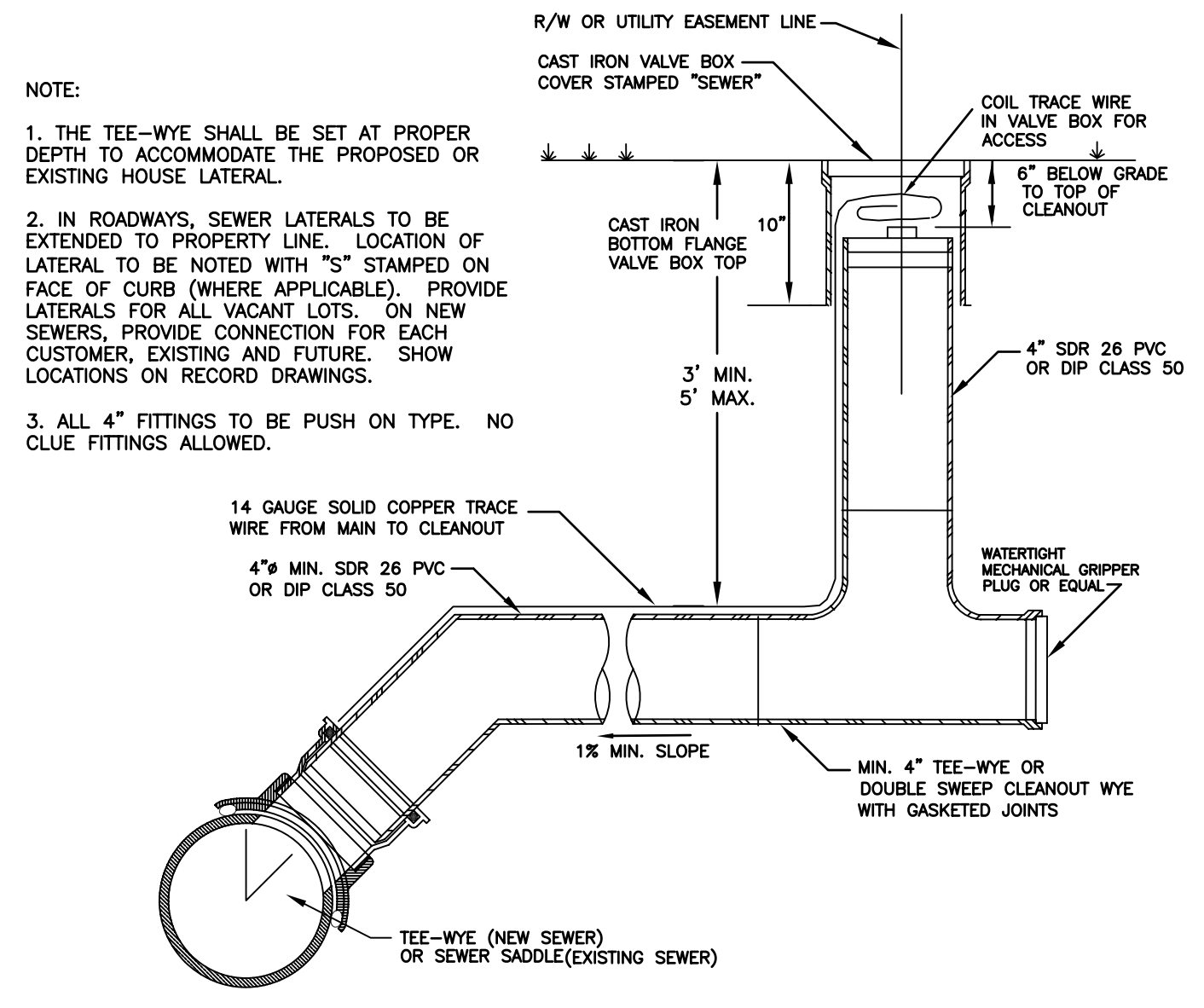
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DETENTION BASIN DETAIL



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City of Savannah

STANDARD CONSTRUCTION DETAILS

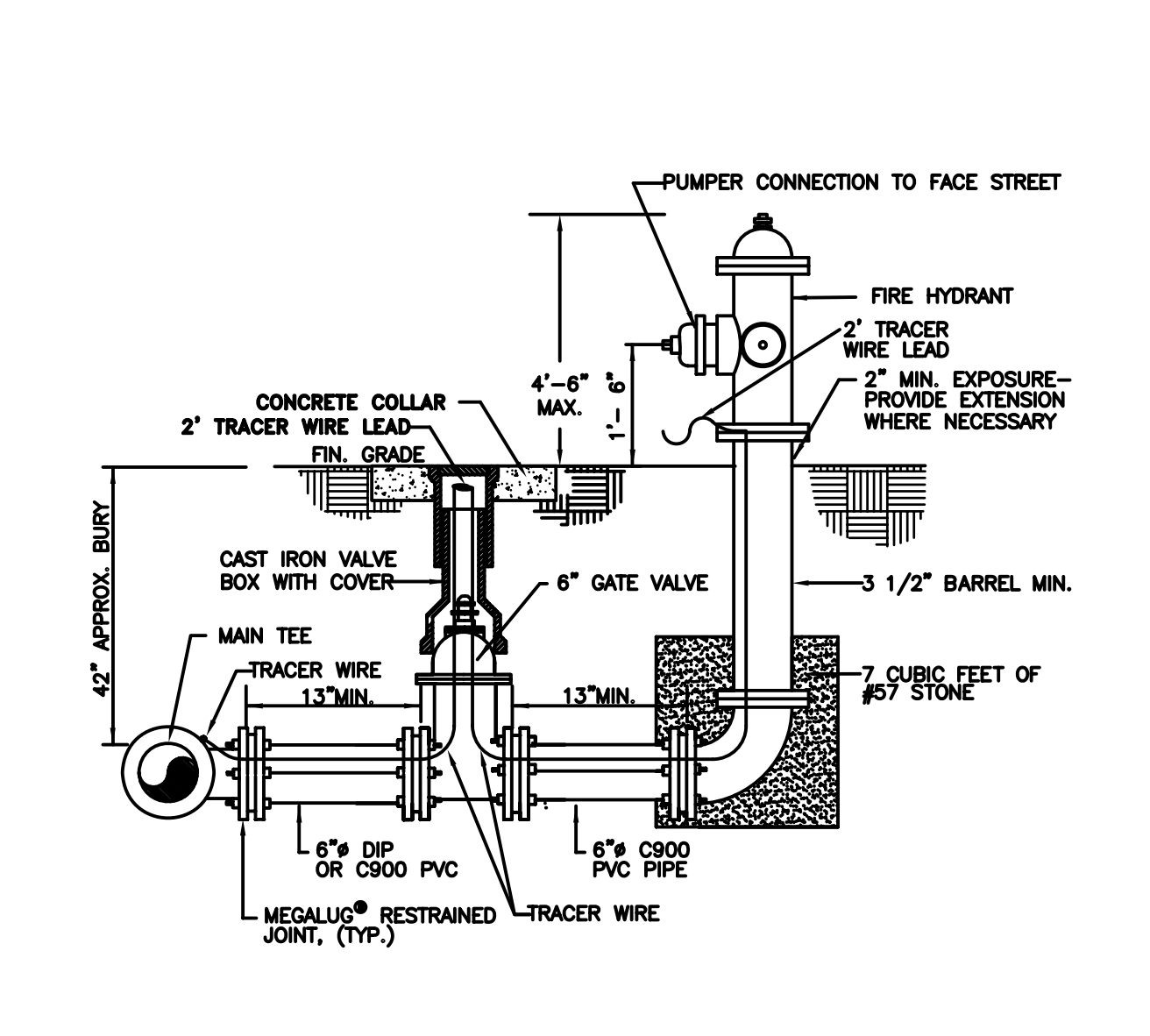
SANITARY SEWER SERVICE CONNECTION DETAIL

PREPARED BY: **WATER SEWER PLANNING & ENGINEERING**

SCALE: N.T.S.

DATE: AUGUST 2005

PLATE NUMBER: **S2**



NOTES:

1. ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
2. PROTECT BOLTS AND THREADS FROM CONCRETE.
3. IN UNPAVED AREAS SET CONCRETE COLLAR 1" ABOVE THE FINISHED GROUND. IN PAVED AREAS SET THE CONCRETE COLLAR FLUSH WITH THE EXISTING PAVEMENT.

City of Savannah

STANDARD CONSTRUCTION DETAILS

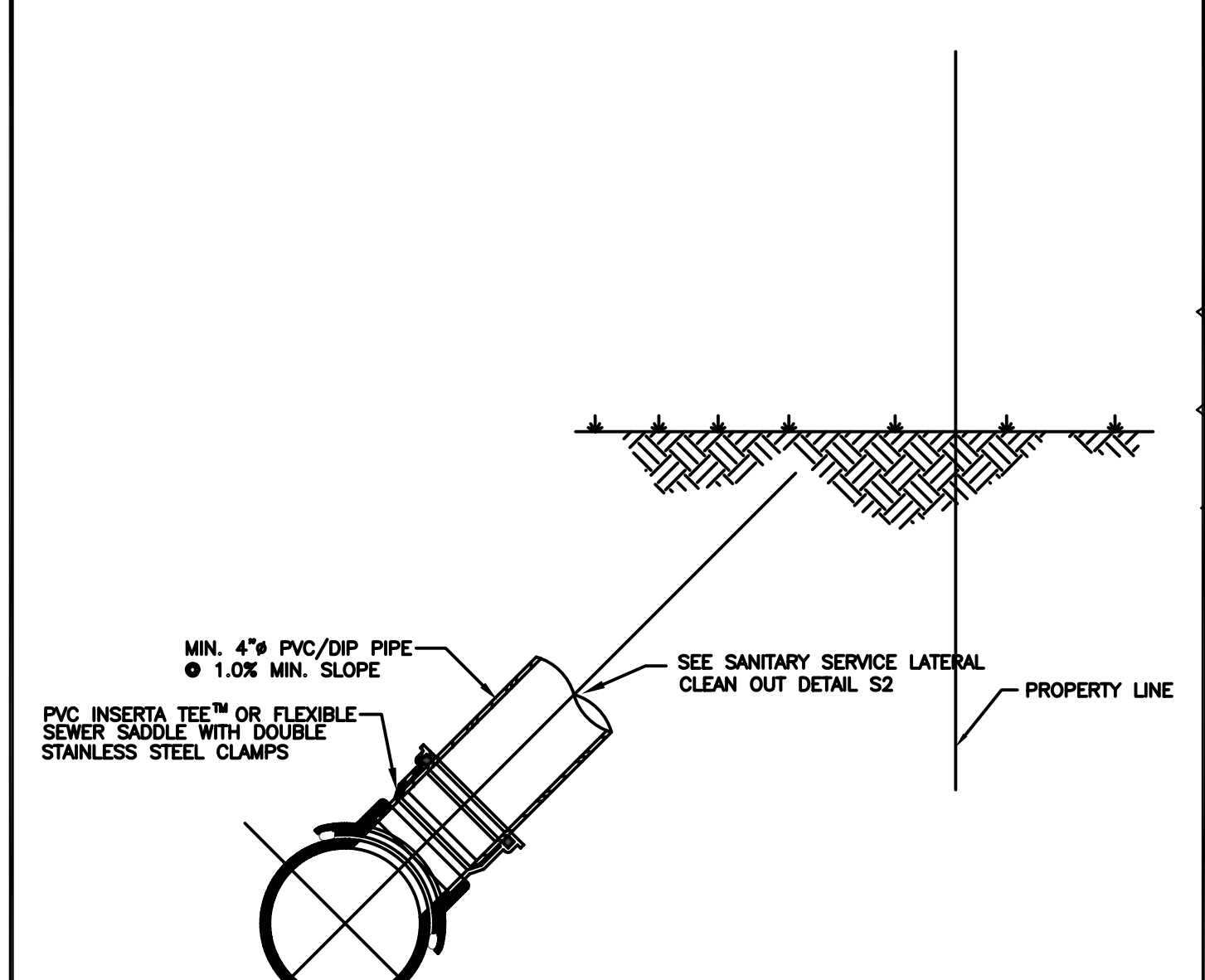
FIRE HYDRANT FOR STANDARD BURY MAINS

PREPARED BY: **WATER SEWER PLANNING & ENGINEERING**

SCALE: N.T.S.

DATE: SEP 2013

PLATE NUMBER: **W36**



City of Savannah

STANDARD CONSTRUCTION DETAILS

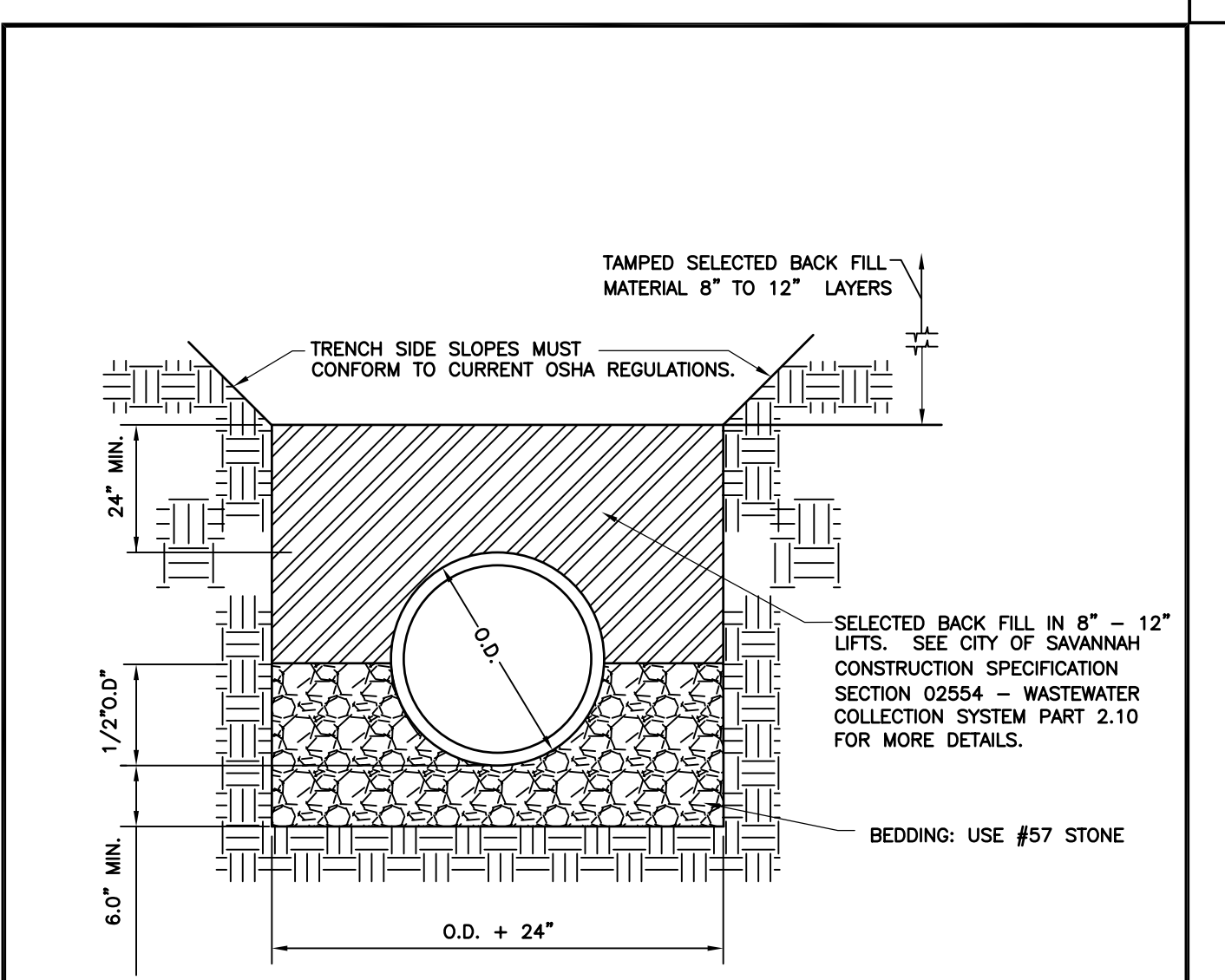
SANITARY SERVICE LATERAL CONNECTION DETAIL

PREPARED BY: **WATER SEWER PLANNING & ENGINEERING**

SCALE: N.T.S.

DATE: SEP 2013

PLATE NUMBER: **S3**



City of Savannah

STANDARD CONSTRUCTION DETAILS

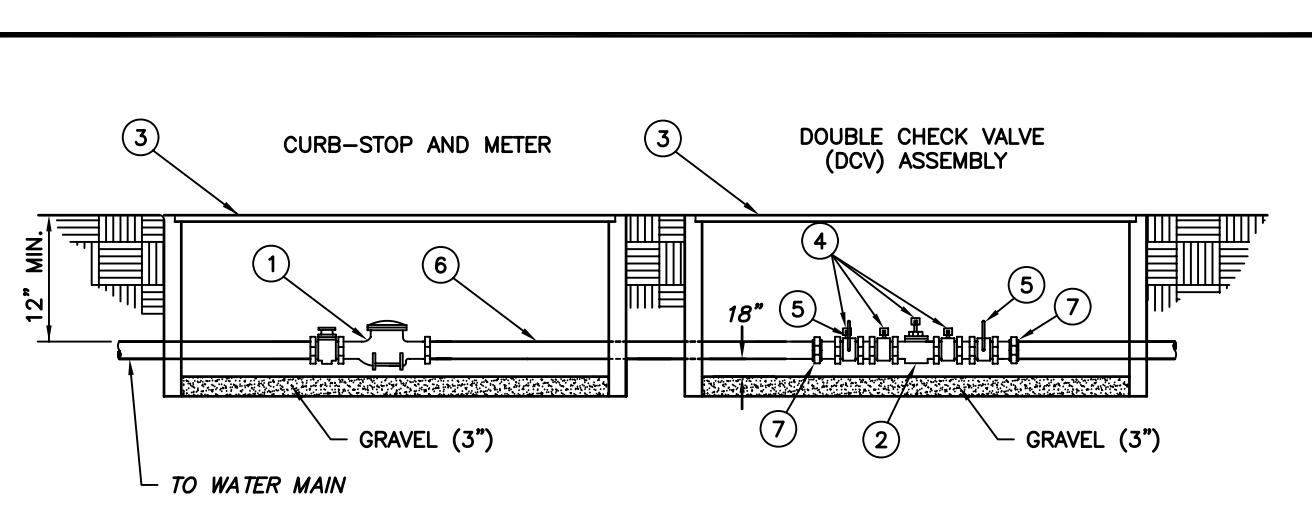
STANDARD PIPE BEDDING DETAIL

APPROVED: **WATER & SEWER PLANNING & ENGINEERING**

SCALE: N.T.S.

DATE: AUG 2005

PLATE NUMBER: **S26**



MATERIALS

ITEM	QUAN.	DESCRIPTION
1	1	WATER METER
2	1	DOUBLE CHECK VALVE ASSEMBLY *
3	2	METER BOX (JUMBO METER BOX FOR 5/8", 3/4", 1" & 1 1/2" BFD ONLY)
4	4	TEST COCKS
5	2	FULL PORT BALL VALVES
6	1	POLYETHYLENE, COPPER OR BRASS CUT TO LENGTH
7	2	UNION

* DUAL CHECK VALVES ARE NOT ALLOWABLE

NOTES:

1. NEW METER INSTALLATIONS 5/8", 3/4", 1" & 1 1/2" TO BE INSTALLED BY CITY OF SAVANNAH'S WATER DISTRIBUTION DEPARTMENT
2. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE. INSTALLER MUST PROVIDE FOR THERMAL EXPANSION DOWNSTREAM OF THE BACKFLOW PREVENTOR.
3. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE, FITTINGS AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTION DEVICE; UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION, OTHER THAN BACKFLOW DEVICE TESTING.

City of Savannah

STANDARD CONSTRUCTION DETAILS

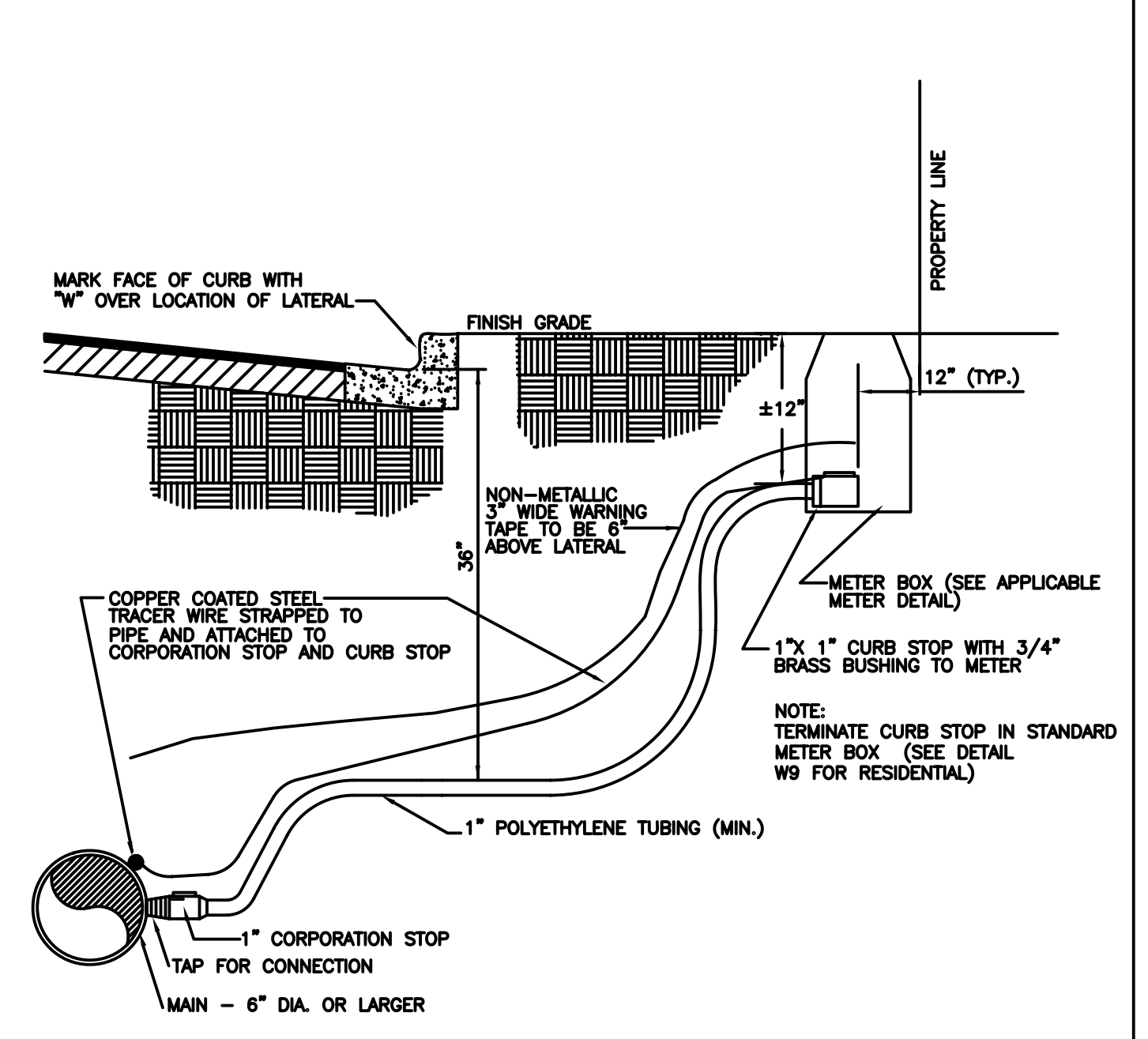
DOUBLE CHECK VALVE & METER ASSEMBLY FOR DOMESTIC SERVICE FOR COMMERCIAL SITES

PREPARED BY: **WATER & SEWER PLANNING & ENGINEERING**

SCALE: N.T.S.

DATE: MARCH, 2005

PLATE NUMBER: **W21**



City of Savannah

STANDARD CONSTRUCTION DETAILS

WATER SERVICE LATERAL (6" OR LARGER MAIN)

PREPARED BY: **WATER & SEWER PLANNING & ENGINEERING**

SCALE: N.T.S.

DATE: SEP 2013

PLATE NUMBER: **W1**

MISCELLANEOUS NOTES

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, GENERAL CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ARCHITECT AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES, AND AGENTS.
2. THE CONTRACTOR SHALL INDEPENDENTLY REVIEW GROUND, TOPOGRAPHY, AND TREE CONDITIONS THROUGHOUT THE SITE, AND ASSUME WHOLLY AND UNCONDITIONALLY THE RISK OF COMPLETING THE WORK SET OUT IN THESE PLANS, REGARDLESS OF ROCK, WATER TABLE, OR OTHER CONDITIONS WHICH THE CONTRACTOR MAY ENCOUNTER IN THE COURSE OF THE WORK.
3. ANY DISCREPANCY DISCOVERED BY THE CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY THE CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE OWNER IMMEDIATELY UPON DISCOVERY. SAID NOTIFICATION SHALL BE IN WRITING.
4. NO GUARANTEE IS INTENDED THAT UNDERGROUND UTILITIES OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS MAY NOT BE ENCOUNTERED. THOSE SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AND THE CONTRACTOR IS CAUTIONED THAT THE OWNERS, THE ENGINEERS, AND THE ARCHITECT ASSUME NO RESPONSIBILITY FOR ANY EXISTING UTILITIES OR OBSTRUCTIONS, EITHER SHOWN OR NOT ON THESE PLANS.
5. THE CONTRACTOR SHALL NOT BEGIN EXCAVATION UNTIL ALL EXISTING UTILITIES HAVE BEEN MARKED IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE WORKING DAYS PRIOR TO EXCAVATION (800) 282-7411.
6. ALL GRADING SHALL BE IN CONFORMANCE WITH APPLICABLE PROVISIONS OF THE UBC AND THE PROJECT SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE SOILS ENGINEER.
7. ALL UNUSABLE MATERIAL, STUMPS, BOULDERS, REMOVED PAVEMENT AND UTILITIES, AND EXCESS SOIL SHALL BE REMOVED AND DISPOSED OF OFF THE PROJECT SITE AT THE CONTRACTORS EXPENSE.
8. NO JETTING OR FLOODING OF BACKFILL SHALL BE PERMITTED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING PAVED ROADS OF DIRT, MUD, AND DEBRIS CAUSED BY HIS CONSTRUCTION OPERATIONS. MUD, DIRT AND DEBRIS SHALL BE REMOVED DAILY. SHOULD THESE ITEMS CONSTITUTE A PUBLIC HAZARD OR NUISANCE, THEY SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PROMPTLY CLEAN STREETS WHEN REQUESTED BY THE DESIGNATED REPRESENTATIVE OF THE CITY OF SAVANNAH.
10. GRADING EQUIPMENT SHALL BE ADEQUATELY MUFFLED TO REDUCE THE NOISE IMPACT ON ADJACENT PROPERTIES. EQUIPMENT SHALL NOT OPERATE ON THE SITE PRIOR TO 8 A.M. OR AFTER 5 P.M. ON WEEKDAYS, AND SHALL NOT BE OPERATED ON WEEKENDS OR HOLIDAYS.
11. ANY MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO THE CITY OF SAVANNAH TECHNICAL SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
12. ALL WORK AND EQUIPMENT SHALL COMPLY WITH OSHA REQUIREMENTS.
13. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT PRIOR TO BEGINNING ANY WORK IN ANY ROADWAY, RIGHT-OF-WAY, ETC. FROM THE CITY OF SAVANNAH.
14. CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORMWATER SYSTEM OR DITCH BORDERING THE PROJECT.
15. ALL TRENCH BEDDING AND BACKFILL SHALL BE PER CITY STD S26.
16. DUST CONTROL MEASURES SHALL BE INSTITUTED DURING GRADING ACTIVITIES TO PREVENT A DUST NUISANCE TO ADJACENT PUBLIC AND PRIVATE PROPERTIES.
17. GRADING EQUIPMENT SHALL BE ADEQUATELY MUFFLED TO REDUCE THE NOISE IMPACT ON ADJACENT PROPERTIES. EQUIPMENT SHALL NOT OPERATE ON THE SITE PRIOR TO 8 A.M. OR AFTER 5 P.M. ON WEEKDAYS, AND SHALL NOT BE OPERATED ON WEEKENDS OR HOLIDAYS.
18. SEE LANDSCAPE AND ARCHITECTURE DRAWINGS FOR ADDITIONAL DETAILS.
19. THE CONTRACTOR SHALL POTHOLE AND VERIFY THE DEPTH OF EXISTING STORM DRAIN AND SEWER FACILITIES PRIOR TO EXCAVATING TRENCHES OR ORDERING STRUCTURES.

NO.	DATE	REVISION	BY
1	11/21/13	REVISED CITY STD DETAILS	TH

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MISCELLANEOUS DETAILS

DATE: 10/16/13
DRAWN BY: JH
CHECKED BY: TH
DRAWING NUMBER: C12 of C13

