

CHATHAM COUNTY PURCHASING & CONTRACTING DEPARTMENT

ADDENDUM NO. 1 TO 13-0044-4

FOR: CHATHAM COUNTY HUMAN RESOURCES OFFICE AT 123 ABERCORN STREET

PLEASE SEE THE FOLLOWING FOR ADDITIONS, CLARIFICATIONS AND/OR CHANGES:

NOTE: REPLACE CURRENT WITH THE ATTACHED (7) REVISED PLAN SHEETS :

1. Sheet S101, dated 6/5/13
2. Sheet A100, dated 6/4/13
3. Sheet ID000, dated 6/4/13
4. Sheet M001, dated 5/20/13
5. Sheet M101, dated 5/20/13
6. Sheet D101, dated 5/20/13
7. Sheet E101, dated 5/20/13

RESPONSES TO QUESTIONS:

Q) Does the six tube steel columns connect together at the top with steel framing? I could not find any details other than what is shown on A500 detail A1. It only references the support beam that connects to the two middle columns and the rest are wood. How does the wood attach to the columns?

A) 4 total tube columns occurring at corners of elevator stop at second floor. This is noted as such on detail A5/S102.

Q) S101 Detail A1 & S102 Detail A9 specs elevator support beam as a W8x24. S101 Detail G9 specs this beam as W10x12. Which is it?

A) Elevator hoist beam size has been corrected on reissued plan sheet S101.

Q) A500 Detail A1, A13 & E8 (also in other dwgs/details) reference angles at bottom of elevator door openings to be provided as required by the elevator manufacturer. Are we to supply and install these angles and, if so, what size are the angles?

A) Contractor is required to provide and install elevator sill angles based on size required by elevator manufacturer.

Q/ Does the Contractor need to include the building permit fee in their bid?

A/ The building permit fee shall be handled internally and shall not be part of the contractors bid.

Q) Please confirm that the fire alarm system on the plans is just going to be used as an elevator recall system.

A) *This is correct. Electrical engineer has confirmed with FM Craig Landolt that this building does not require a fire alarm system due to its size and occupancy capacity.*

Q) Please confirm that the access control system will not need to be tied into the fire alarm system for release of all doors in the event of an alarm.

A) *Access control will not be connected to fire alarm system.*

Q) Audio Visual Equipment and wiring is by others, but data wiring is by EC. Plans and specs call for wiring but no equipment on data. Please confirm.

A) *Bidders are to provide all required electrical power devices and conduit for low-voltage wiring to support future video conference equipment installed by Owner in space 104 as illustrated on Stage Front Presentation Drawing sheets EPS-1.0, EPS-1.1, EPS-3.1, EPS-3.2, EPS-3.3. All low-voltage wiring conduits are to be provided in sizes indicated on Stage Front Drawings. All low-voltage wiring and equipment for video conferencing will be furnished by Owner.*

Q) Card Readers and Access Control have no specs and shows only wiring and rough-in by EC. Please confirm.

A) *Card reader equipment specs are found in "Door Hardware" 087100 specification in project manual. Contractor to provide card reader hardware, electrical conduit and power to energize hardware items listed and illustrated in detail D/E001.*

Q) Video Surveillance is 100% by EC, no specs, plan information on detail C/E001 only. Please confirm.

A) *This is correct.*

Q) Intercom System is 100% by EC, no specs, plan information on detail B/E001 only. Please confirm.

A) *This is correct.*

Q) Specs call for Fire Alarm System, plans show no fire Alarm Devices nor do they indicate a design build. Please confirm there are no Fire Alarm plans or scope.

A) *There is no fire alarm system for project, only elevator recall system connected to smoke detectors. Delete specification section 283100 completely.*

Q) Are there any sign details?

A) *Sign details are found in specification section 101400 "Signage" in project specifications/manual.*


Q) At what locations will there be signage?

A) *Signage locations are referenced in signage schedule found in specification section 101400 "Signage" in project specifications/manual.*

THE BID OPENING REMAINS: WEDNESDAY, JUNE 12, 2013

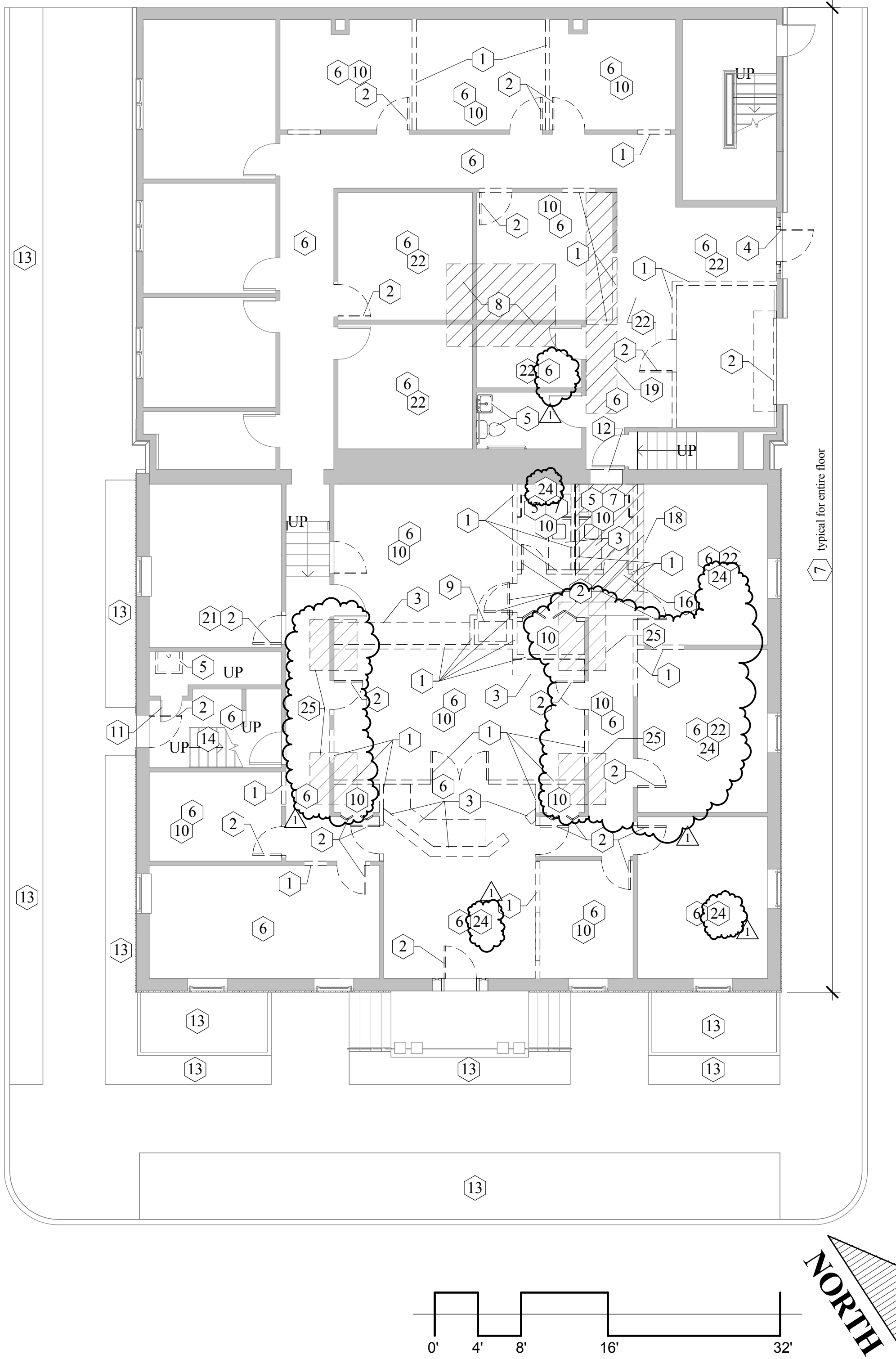
**THE PROPOSER IS RESPONSIBLE FOR MAKING THE NECESSARY CHANGES
AND MUST ACKNOWLEDGE RECEIPT OF ADDENDUM.**

6/6/13
DATE

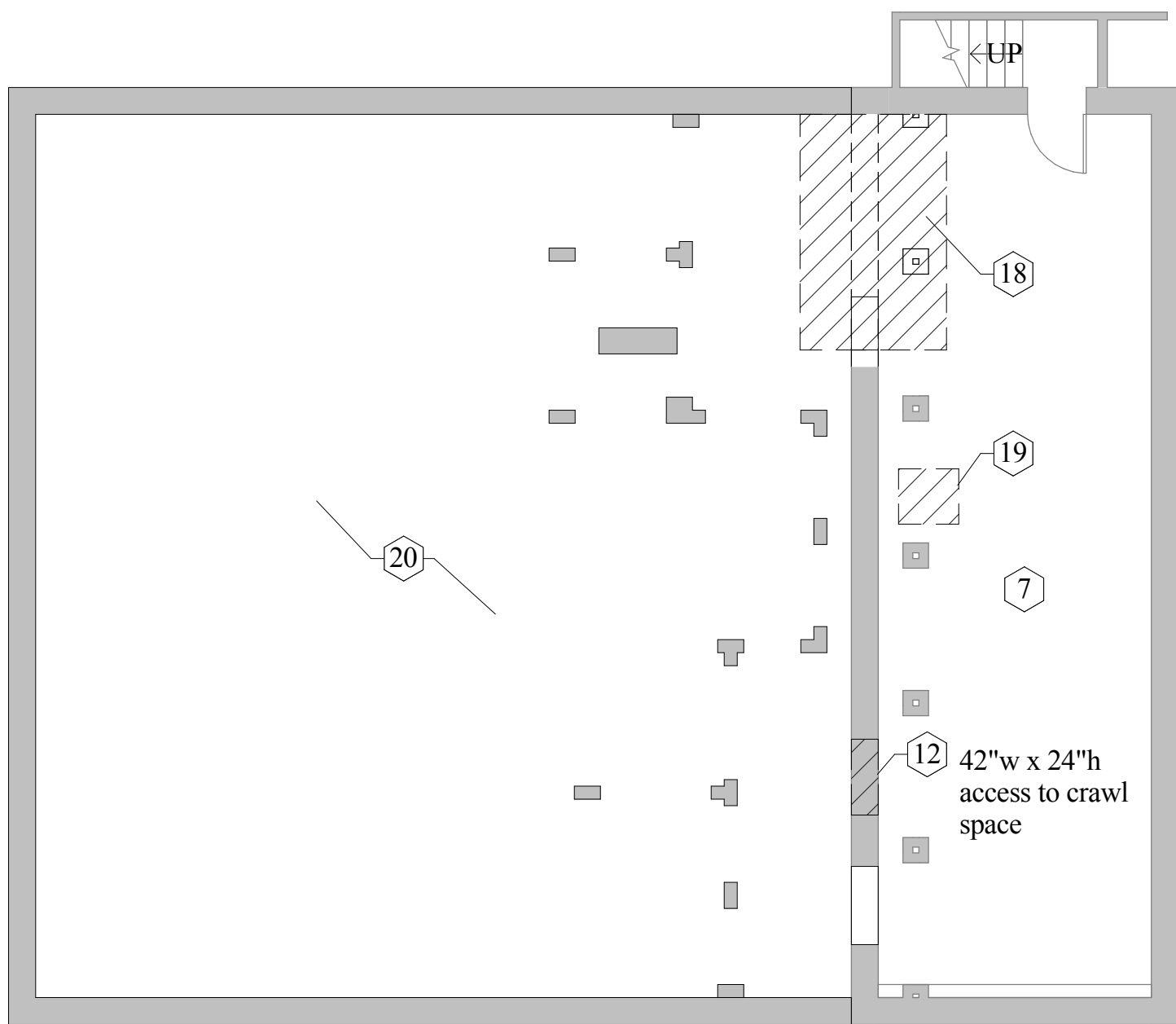


ROBERT E. MARSHALL
SENIOR PROCUREMENT SPECIALIST
CHATHAM COUNTY

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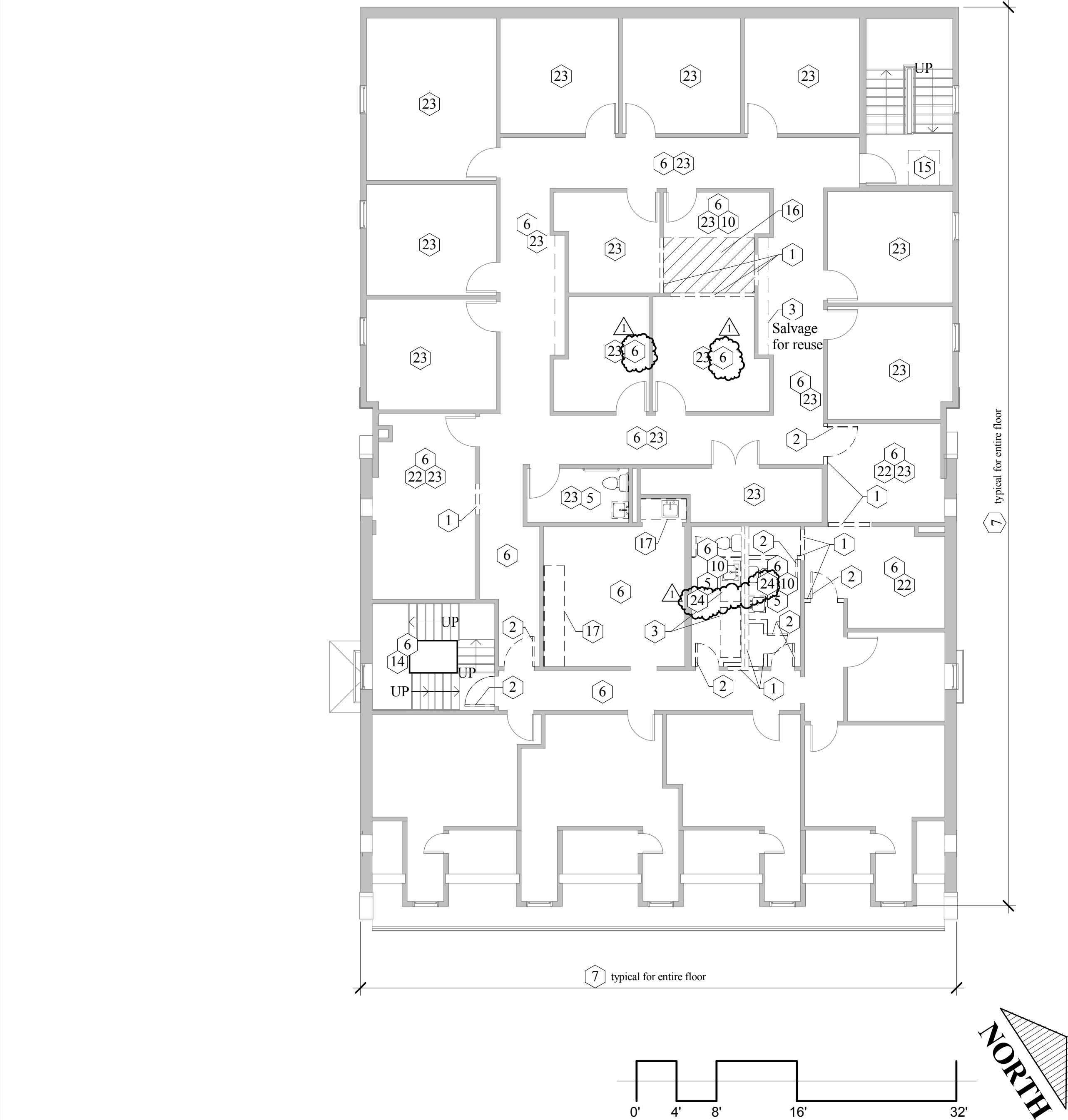
G1 Demolition - First Floor Ground
1/8" = 1'-0"



A1 Demolition - Basement Floor
1/8" = 1'-0"

NFPA & GENERAL DEMOLITION NOTES:

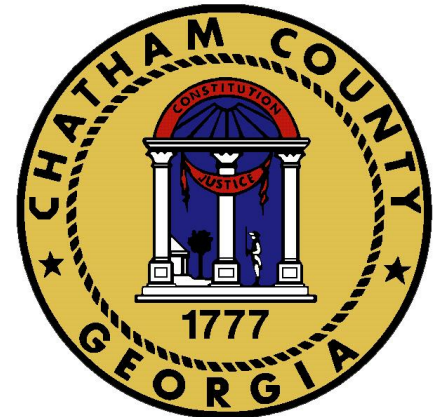
- All demolition work shall comply with the requirements of NFPA 241, 2000 Edition - Standard for Safeguarding Construction, Alteration and Demolition Operations.
- Comply with NFPA 4.6.7 - Modernization and Renovation: Any alteration or any installation of equipment shall meet as nearly as practicable the requirements for new construction.
- Patch, repair and match all existing construction to remain that is damaged during demolition.
- Remove all finishes from floors, walls and ceilings indicated as required to provide specified surface preparation for surfaces scheduled for new finishes.
- The Contractor shall provide and maintain interior and exterior shoring, bracing or structural support to preserve stability and prevent movement, settlement or collapse of building.
- Conduct demolition operations to prevent injury to people and damage to adjacent buildings and facilities to remain.
- Properly dispose of all materials that are to be removed (unless noted otherwise). See LEED notes.
- Cap all plumbing in place for reuse in new layout. Plumbing not reused shall be capped in walls and walls shall be patched for new finishes.
- Extend existing duct work into new areas as shown. Clean and rebalance existing system.
- Remove and dispose of interior stud partitions where indicated, including studs, gypsum wall board, electrical devices and conduit, plumbing piping and finishes. Provide shoring for load bearing partitions to be removed until permanent structural members can be installed.
- Notify Architect if the information on the Construction Drawings differ from the existing conditions.



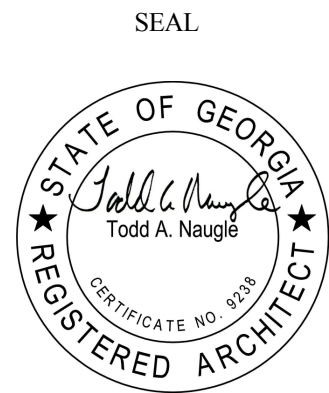
H9 Demolition - Second Floor
1/8" = 1'-0"

DEMOLITION NOTES:

- 1 Remove and dispose of existing wall construction to extents indicated including all Mechanical, Electrical and Plumbing hidden within. Contractor is responsible for coordinating demolition with new construction work. Some wall demolition is limited to creating new wall openings and wall is not required to be demolished full height.
- 2 Remove and dispose of existing door, frame, door casing and all associated hardware.
- 3 Remove and dispose of existing casework, including but not limited to electrical, plumbing and mechanical hidden within. Salvage casework indicated for reuse.
- 4 Remove and salvage existing door, sidelights, frame and hardware for reuse in new design.
- 5 Remove and dispose of existing plumbing fixtures within space. Cap supply and waste lines for use in new design. Plumbing lines not to be reuse should be permanently capped within walls, below finish floor or below concrete slab. Coordinate demolition of water supply and waste/vent piping with attached plumbing plans.
- 6 Remove and dispose of existing floor finish within space. If rubber base is present in space this is to be removed as well. Prepare floor substrate to receive scheduled new floor finish.
- 7 Remove and dispose of existing light fixture(s) within spaces. Remove circuit/branch wiring and light switches as needed to accommodate new lighting design. Reference electrical/lighting plans.
- 8 Remove and dispose of existing concrete slab and compacted earth below as needed to construct elevator shaft. Saw-cut slab at limits of removal. Reconstruct existing walls that are affected by elevator pit work, but are intended to remain at existing location.
- 9 Remove and salvage existing cast iron safe from building and turn-over to Owner.
- 10 Remove and dispose of existing ceiling system completely. Salvage existing acoustical ceiling panels for reuse.
- 11 Remove and dispose of existing door and all hardware.
- 12 Remove portion of interior wall to create scheduled wall opening. Provide temporary shoring and structural lintel per structural drawings.
- 13 Remove and dispose of all existing landscaping and prepare soil and other work as described in landscape drawings attached.
- 14 Remove and dispose of existing steel guardrail completely as well as wood charrail within space.
- 15 Remove and dispose of portion of existing roof structure and ceiling to create roof hatch opening. Reference detail H14/A102 for more information.
- 16 Remove and dispose of existing concrete slab, metal deck and structural bar joist to create elevator shaft. Reference structural drawings for details in framing new floor opening and supporting structure. Contractor to remove adjacent walls surrounding elevator opening as needed. Reconstruct walls removed that are still required at locations indicated on floor plan.
- 17 Remove and dispose of existing plastic laminate countertop. Salvage sink for reinstallation within new counter.
- 18 Remove and dispose of existing wood subfloor, floor framing and CMU piers and foundation, portions of basement, and wood shelves as needed to construct new stairs. reference structural drawings for details and requirements related to temporary shoring/bracing of floor system. Contractor notify Architect if existing conditions or conflicts arise that differ with that illustrated.
- 19 Remove and dispose of existing concrete slab to install new foundation as indicated on structural drawings or plumbing waste piping as indicated on plumbing drawings.
- 20 Reference structural, MEP demolition plans for additional demolition work required in crawl space.
- 21 Demolish existing door and create new door opening while protecting existing wall covering finish on wall.
- 22 Remove and dispose of only that portion of existing acoustical ceiling system as needed to construct scheduled new wall. Salvage existing acoustical ceiling panels for reuse.
- 23 Remove and dispose of existing fiberglass batt insulation above acoustical ceiling system.
- 24 Remove and dispose of existing wallpaper finish on all walls within space. Prepare gypsum wall board substrate to receive new wall paint system.
- 25 Remove and dispose of existing wood subfloor to extent needed to construct concrete foundation in crawl space. Repair existing wood subfloor with plywood of matching thickness. Provide wood blocking surrounding demolished floor opening to support perimeter cut edge of existing subfloor and replacement subfloor.



Chatham County
Human Resources
Offices
123 Abercorn Street
Savannah, Georgia



| # | Revision Description | Date |
|---|------------------------------------|----------|
| 1 | Revisions issued under addendum #1 | 06/04/13 |

LEGEND:

- Existing Construction to be demolished
- Existing Construction to remain

LEED NOTES:

This project goal is to salvage/recycle 75% of construction waste by weight. Contractor is required to recycle all waste, but especially all concrete, CMU, structural steel, drywall and miscellaneous metals. Reference specification "Construction Waste Management and Disposal", 017419 for more detailed requirements.

GENERAL NOTES:

1. Reference specification section 012300 - "Alternates" for description of alternate #2 which will require additional floor finish demolition work.

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JOB #: 2012.10
DATE: 10/26/12
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**DEMOLITION
FLOOR PLANS**

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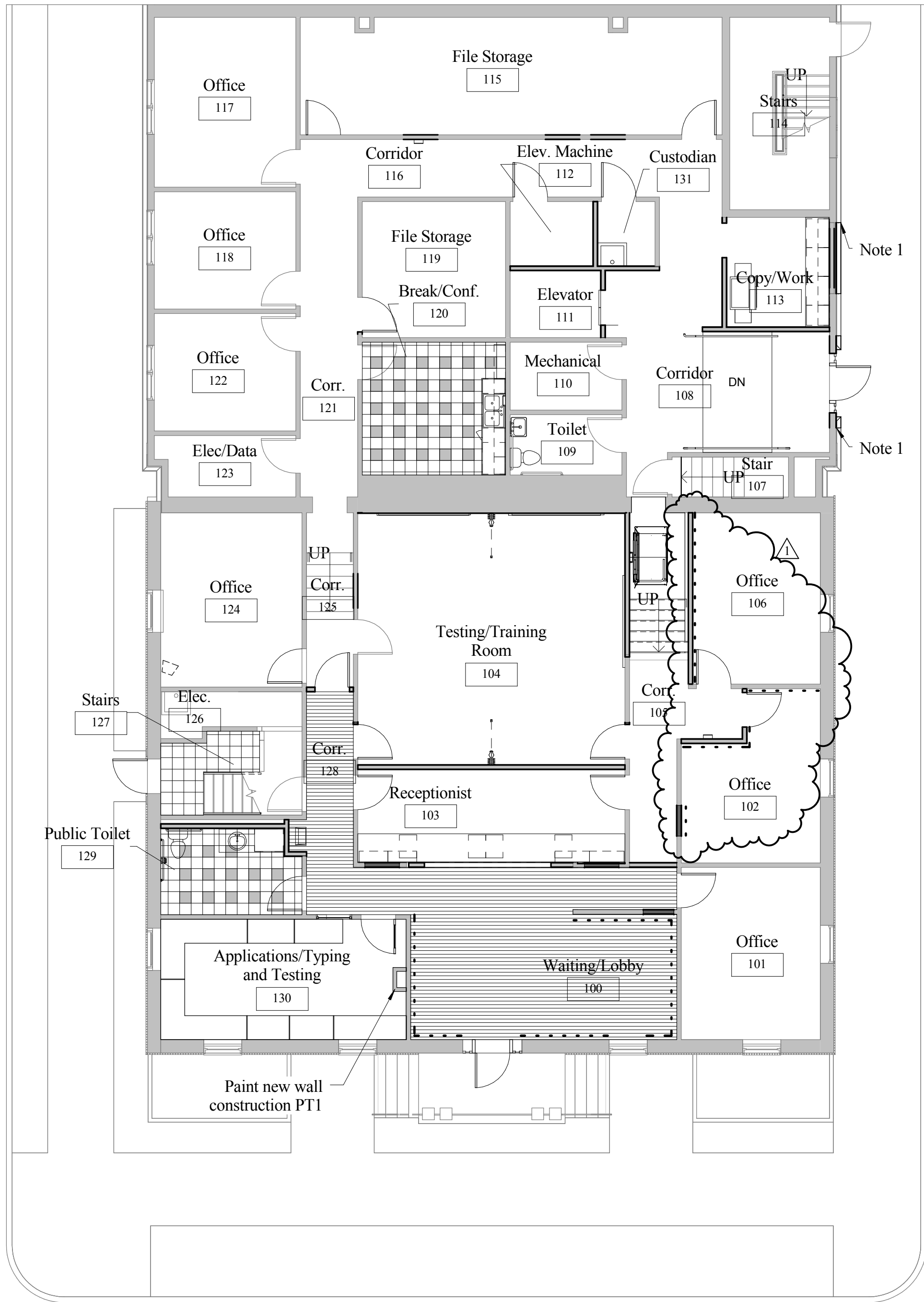
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Architecture Community Planning Integrated Project Delivery Visual Communications

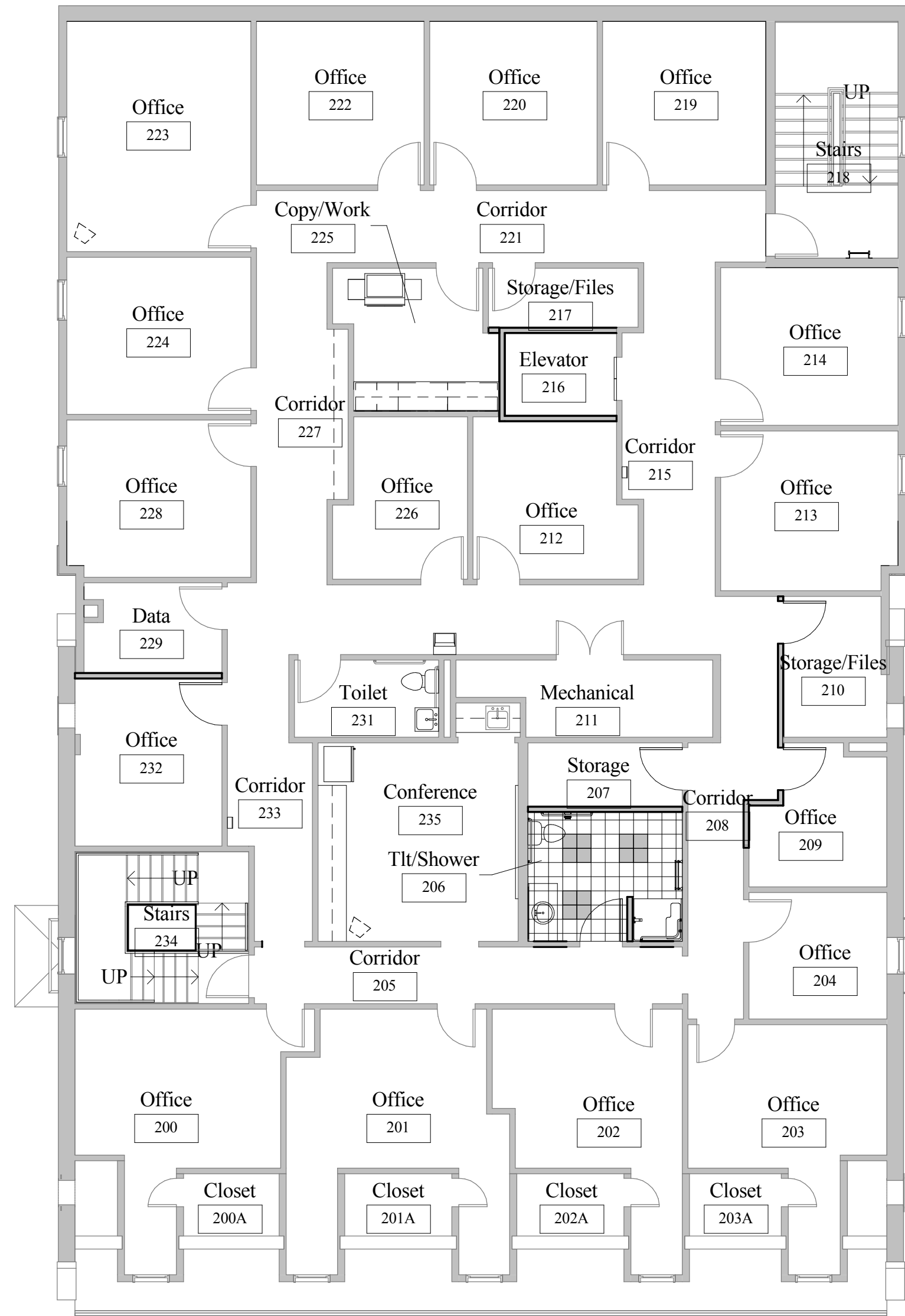
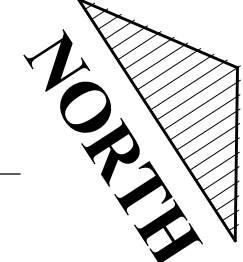
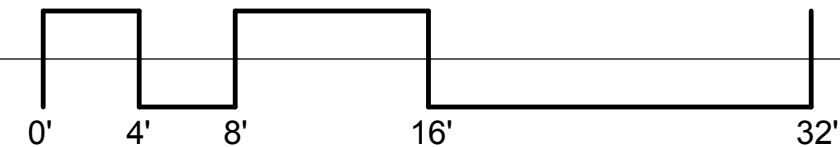
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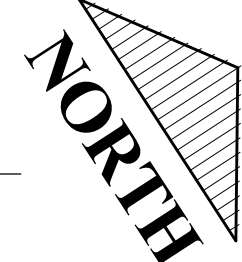
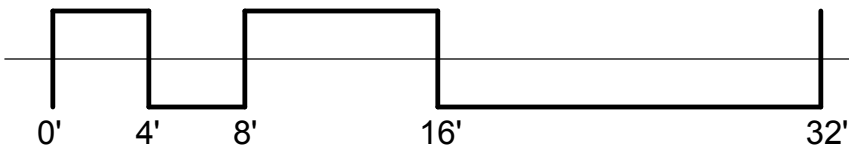
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PROJECT
NORTH



PROJECT
NORTH



| Finish Schedule | | | | | | | | | |
|-----------------|---------------------------------|--------------|-------------|---------------|------|-------|------|----------------|-----------------|
| Number | Name | Floor Finish | Base Finish | Wall Finishes | | | | Ceiling Finish | Finish Comments |
| | | | | North | East | South | West | | |
| 001 | Basement | N/A | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 1 |
| 100 | Waiting/Lobby | WF-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | PT-4/APC-1 | NOTE 10 |
| 101 | Office | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | NOTE 2 |
| 102 | Office | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | |
| 103 | Receptionist | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 104 | Testing/Training Room | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 105 | Corr. | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 106 | Office | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | |
| 107 | Stair | N/A | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 1 |
| 108 | Corridor | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 109 | Toilet | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 110 | Mechanical | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1,8 |
| 111 | Elevator | CPT-1 | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 6 |
| 112 | Elev. Machine | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 113 | Copy/Work | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 114 | Stairs | N/A | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 1,9 |
| 115 | File Storage | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 116 | Corridor | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | |
| 117 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 118 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 119 | File Storage | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | NOTE 8 |
| 120 | Break/Conf. | VCT-1,VCT-2 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | |
| 121 | Corr. | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | |
| 122 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 123 | Elec/Data | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 124 | Office | CPT-1 | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 2 |
| 125 | Corr. | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | |
| 126 | Elec. | N/A | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 1 |
| 127 | Stairs | VCT-1/CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | NOTE 7 |
| 128 | Corr. | WF-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | |
| 129 | Public Toilet | VCT-1,VCT-2 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 130 | Applications/Typing and Testing | CPT-1 | NOTE 5 | N/A | N/A | N/A | N/A | PT-4 | NOTE 2 |
| 131 | Custodian | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 200 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 200A | Closet | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 201 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 201A | Closet | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 202 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 202A | Closet | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 203 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 203A | Closet | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 204 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 205 | Corridor | CPT-1 | PT-2 | PT-1 | N/A | N/A | N/A | NOTE 3 | NOTE 2 |
| 206 | Th/Shower | VCT-1,VCT-2 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | PT-4/APC-1 | |
| 207 | Storage | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 208 | Corridor | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 209 | Office | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 210 | Storage/Files | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 211 | Mechanical | N/A | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 1 |
| 212 | Office | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | NOTE 1,8 |
| 213 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 214 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 215 | Corridor | CPT-1 | PT-2 | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 2 |
| 216 | Elevator | CPT-1 | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 6 |
| 217 | Storage/Files | VCT-1 | RB-1 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 218 | Stairs | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 9 |
| 219 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 220 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 221 | Corridor | CPT-1 | PT-2 | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 2 |
| 222 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 223 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 224 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 225 | Copy/Work | VCT-1 | PT-2 | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 2 |
| 226 | Office | CPT-1 | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 227 | Corridor | CPT-1 | PT-2 | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 2 |
| 228 | Office | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 229 | Data | VCT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | APC-1 | |
| 231 | Toilet | N/A | N/A | N/A | N/A | N/A | N/A | NOTE 3 | NOTE 1 |
| 232 | Office | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | N/A | APC-1 | |
| 233 | Corridor | CPT-1 | PT-2 | N/A | N/A | N/A | N/A | N/A | NOTE 2 |
| 234 | Stairs | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | NOTE 7 |
| 235 | Conference | CPT-1 | PT-2 | PT-1 | PT-1 | PT-1 | PT-1 | NOTE 3 | NOTE 1 |
| Grand total: 72 | | | | | | | | | |

FINISH SCHEDULE NOTES:

- Note 1. No new finishes scheduled for space. Contractor is required to protect all walls, floor, ceiling and trim from damage during construction.
- Note 2. Protect existing wall and base finishes in space. Paint new door and door casing to match existing trim.
- Note 3. Existing acoustical ceiling panel system to remain. Replace any damaged ceiling tiles or suspension system with matching salvaged materials due to demolition activities occurring above ceiling or constructing adjacent walls.
- Note 4. Provide 1/2" x 3/4" PT-2 painted shoe molding applied to base within space.
- Note 5. Space to receive pre-finished electrical/telecommunication baseboard along all walls. Reference electrical plans.
- Note 6. Wall and ceiling finishes are provided by elevator manufacturer. See elevator specification
- Note 7. Repaint all wood trim (base, wood newel posts, guardrail cap, doors, casing) PT-2. repair walls where wood chairrail was removed and paint all walls PT-1. Steel guardrail and handrail tubes painted gloss black. Install linoleum tile (LT-1) where VCT tile exists at lowest level of stair. Attach CPT-1 to wood treads and landings.
- Note 8. Restore existing wall/ceiling finishes as needed to construct elevator shaft.
- Note 9. Restore existing wall/ceiling finishes as needed to install metal ladder and roof hatch.
- Note 10. Repaint wood crown molding matching existing paint finish.

| Material Type | Code | Description |
|---------------------------------|-------|---|
| Paint (Wall) | PT-1 | Match existing wall paint in space 117. (Eggshell) |
| Paint (Trim) | PT-2 | Match existing door/wood trim paint color in space 101. (Semi-gloss) |
| Paint (Ceiling) | PT-4 | 'Sherwin Williams' SW7007 'Ceiling Bright White'. (Flat) |
| Vinyl Composition Tile (Field) | VCT-1 | 'Armstrong' Imperial texture, standard Excelon #51805 'Brushed Sand'. |
| Vinyl Composition Tile (Accent) | VCT-2 | 'Armstrong' Imperial texture, standard Excelon #51805 'Camel Beige'. |
| Carpet | CPT-1 | 'Shaw' style: 54128 'Fame and Fortune', color 28700 'Oscar Winner'. |
| Wood Flooring | WF-1 | 'Mohawk' hardwood flooring, Belle Meade 5" 'Oak Winchester'. |
| Solid Surface | SS-1 | 'Formica #743 'Tawny Agate' |
| Acoustical Panel Ceiling | APC-1 | 'Armstrong' 'Fine Fissured' #1728A |
| Plastic Laminate (Vertical) | LAM-1 | 'Wilsonart' laminate #4861K-07 'Gold Alchemy'. |
| Plastic Laminate (Horizontal) | LAM-2 | 'Wilsonart' laminate #4923K-52 'Madura Gold'. |

General Notes:

- Where base is shown to be painted new base shall match existing. No section will be less than 6'-0" UNO.
- Exterior paint colors shall match existing. (Alternate #3)
- All wood trim, (base, chairrail, door casings, doors, door frames) to be painted PT-2.
- All vertical and horizontal surfaces of gypsum wallboard ceilings or soffits to be painted PT-4 unless noted otherwise.
- All vertical surfaces of plastic laminate cabinets to be finished with LAM-1 unless noted otherwise.
- All plastic laminate countertops to be finished with LAM-2 unless noted otherwise.
- All wall surfaces scheduled to receive new finishes are to have existing wall substrates prepared to receive scheduled finish. Required demolition to walls that retains portions of existing wall substrate are to have joints/seams aligned with new matching materials and joints/seams finished to hide necessary repairs before applying finish.

Legend:

| | |
|-------|--|
| WC-1 | Wood chairrail profile. Match existing height in room and extend to limits indicated |
| VCT-1 | |
| VCT-2 | |

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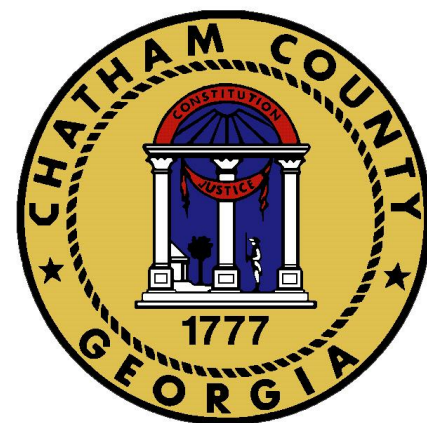
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DATE: 10/26/12
DRAWN BY: TEC
CHECKED BY: SAB/TAN

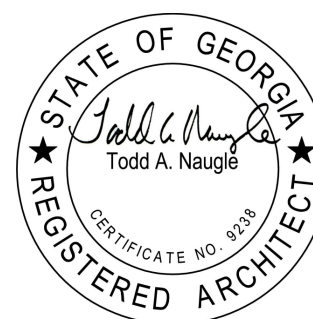
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Chatham County
Human Resources
Offices
123 Abercorn Street
Savannah, Georgia

SEAL



| # | Revision Description | Date |
|---|------------------------------------|----------|
| 1 | Revisions issued under addendum #1 | 06/04/13 |

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Visual Communications

Integrated Project Delivery

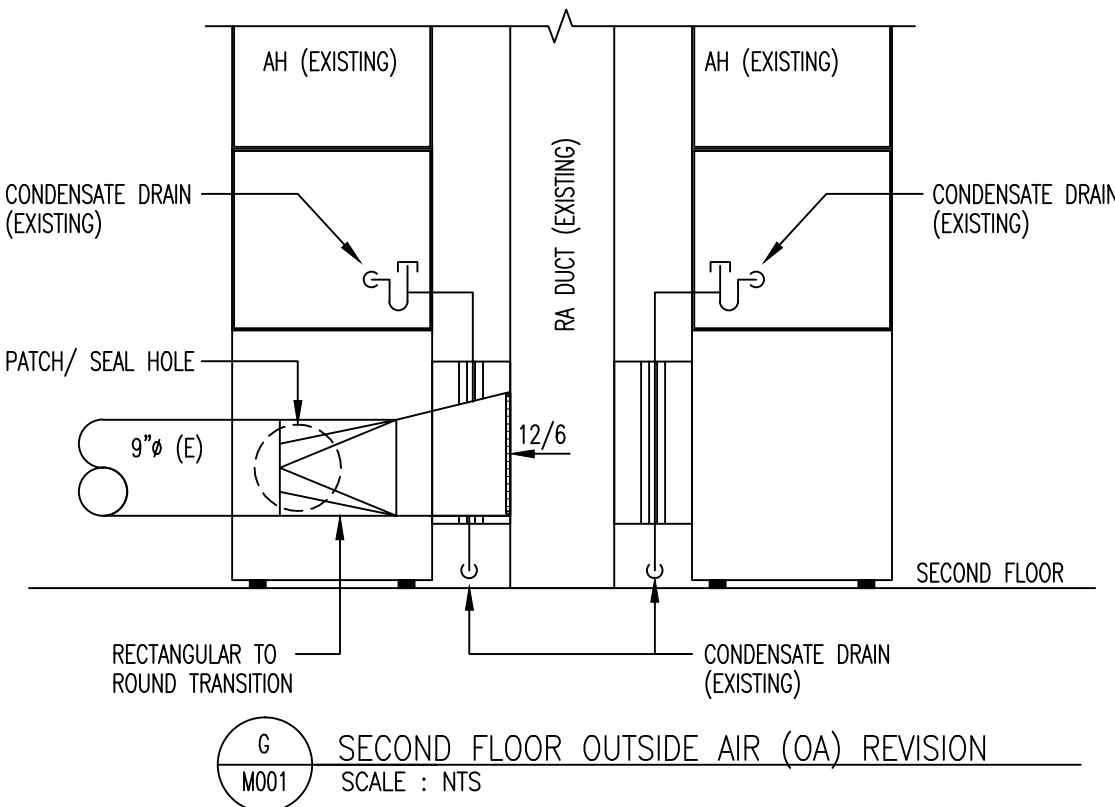
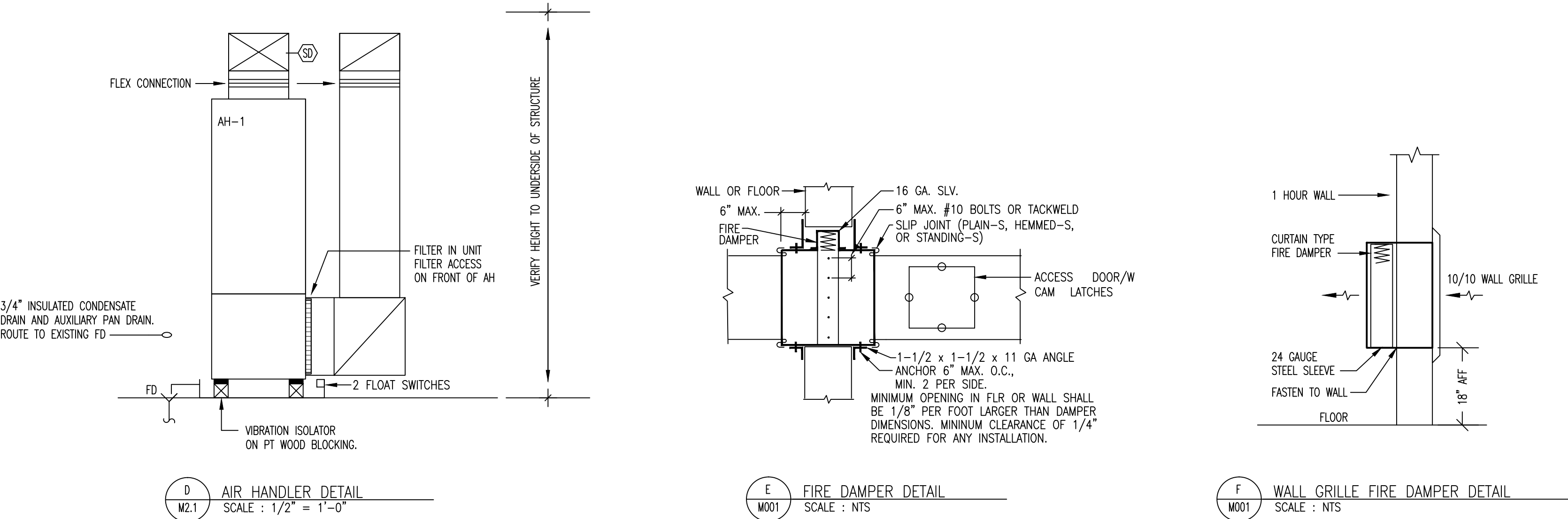
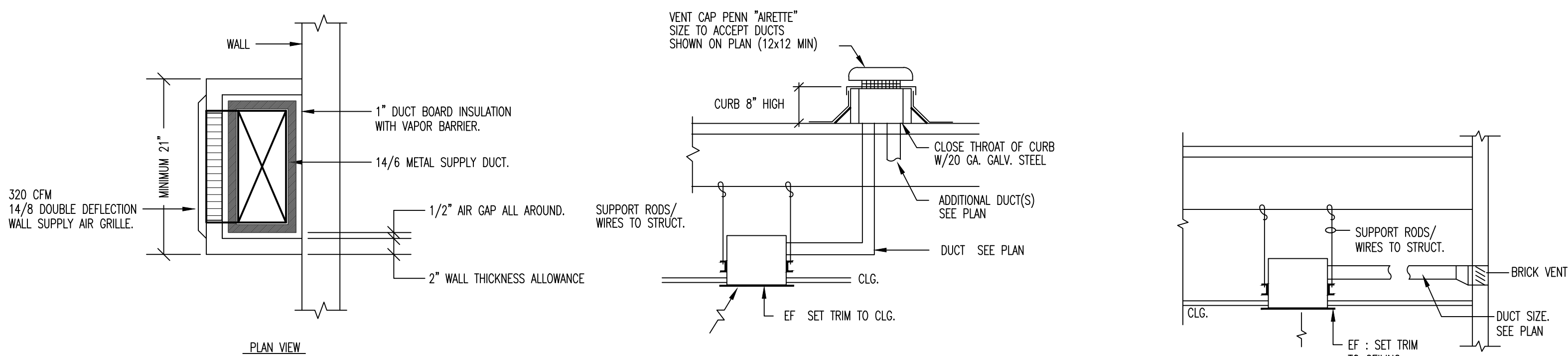
Community Planning

Architecture

ID000



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| EXHAUST FAN SCHEDULE | | | | | | | | | | | |
|----------------------|--------------------|-----|-------------|----------|--------|------------|--------------|------------|---------|---------------------------------------|---------|
| SYMB. | AREA SERVED | CFM | SP. IN. H2O | RPM MAX. | DRIVE | HP(W) MAX. | ELECT V/Ø/HZ | SONES MAX. | MOUNT | DESIGN BASIS MFG. AND MODEL, OR EQUAL | NOTES |
| EF-1 | BATHROOM | 75 | 0.25 | 950 | DIRECT | (49) | 120/1/60 | 0.8 | CEILING | GREENHECK SP-A110 | 1,2,3,4 |
| EF-2 | BATHROOM | 75 | 0.25 | 950 | DIRECT | (49) | 120/1/60 | 0.8 | CEILING | GREENHECK SP-A110 | 1,2,3,4 |
| EF-3 | ELEVATOR EQUIPMENT | 150 | 0.25 | 1400 | DIRECT | (113) | 120/1/60 | 3.1 | CEILING | GREENHECK SP-A190 | 1,2,3,4 |

NOTES:
1. BACKDRAFT DAMPER
2. SPEED CONTROL AT FAN. SET CFM PER PLAN.
3. DISCONNECT SWITCH/PLUG
4. EQUALS BY COOK, PENN, AND BROWN

| MECHANICAL LEGEND | | | |
|-------------------|--------------------------|-------|---------------------------|
| | AIR RETURN DUCT/GRILLE | A/C | AIR CONDITIONING SYSTEM |
| | AIR SUPPLY DUCT/DIFFUSER | AH | AIR HANDLER |
| | EXHAUST FAN DUCT/GRILLE | CU | CONDENSING UNIT |
| | ROOF MOUNTED EXHAUST FAN | FCU | FAN COIL UNIT |
| | SMOKE DETECTOR | EF | EXHAUST FAN |
| | DUCT MTD. SMOKE DETECTOR | UH | UNIT HEATER |
| | THERMOSTAT | CFM | CUBIC FEET PER MINUTE |
| | REMOTE INDICATOR | VD | VOLUME DAMPER |
| | FLEXIBLE DUCT | OA | OUTSIDE AIR |
| | TURNING VANES | FD/SD | FIRE DAMPER/ SMOKE DAMPER |
| | AIR FLOW DIRECTION | FD | FIRE DAMPER |
| | DUCT SIZE TRANSITION | SD | SMOKE DAMPER |
| | ROUND DUCT, SIZE NOTED. | RAG | RETURN AIR GRILLE |
| | FAN MOTOR OR PUMP | SAG | SUPPLY AIR GRILLE |
| | NEW DUCT | RA | RETURN AIR |
| | EXISTING DUCT | SA | SUPPLY AIR |

Chatham County
Human Resources
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123 Abercorn Street
Savannah, Georgia

SEAL

| # | Revision Description | Date |
|---|--|----------|
| 1 | REVISED DRAWING ISSUED UNDER ADDENDUM #1 | 05-20-13 |

- HVAC NOTES**
- IN CRAWL SPACE, CLEAN INSIDE OF DUCT AND RE-WRAP ALL EXPOSED DUCTS WITH 2" INSULATION.
 - WHERE DUCTS ARE WITHIN 2" OF EARTH IN CRAWL SPACE, LIFT DUCT UP AND STRAP TO UNDER SIDE OF STRUCTURE TO PROVIDE A MINIMUM OF 4" CLEARANCE.
 - INSTALL TWO (2) FLOAT SWITCHES AT ALL AIR HANDLERS. (TYPICAL)
 - EXISTING RETURN AIR DUCT UP TO REMAIN.
 - EXISTING SUPPLY AIR DUCT UP TO REMAIN.
 - EXISTING SUPPLY AIR DUCT SHALL REMAIN.
 - NEW SUPPLY AIR DUCT, CONNECT TO EXISTING DUCT AND BRANCH SUPPLY AIR GRILLES SERVING FIRST FLOOR.
 - RETURN AIR DUCT SHALL REMAIN.
 - REMOVE SUPPLY AIR DUCT SHALL REMAIN.
 - NEW RETURN AIR DUCT, CONNECT TO EXISTING DUCT AND BRANCH RETURN AIR GRILLES SERVING FIRST FLOOR.
 - NEW AIR HANDLER MOUNTED IN BASEMENT. AIR HANDLER SHALL BE A 5 TON, HEAT PUMP, WITH 240 VOLT, 1 PHASE, 10 KW AUXILIARY HEAT STRIP. LOCATE CORRESPONDING CONDENSING UNIT ON ROOF AND REPLACE WITH CU TO MATCH NEW AHU. VERIFY EXISTING LL/VL LINES AND REPLACE IF NECESSARY. PROVIDE NEW THERMOSTAT. SEE SPECIFICATIONS.
 - NEW SUPPLY AIR DUCT UP TO FIRST FLOOR SAG.
 - NEW RETURN AIR DUCT UP TO FIRST FLOOR RAG.
 - NEW OUTSIDE AIR DUCT, CONNECT TO EXISTING OPENING IN WALL THAT THEY ARE RECONNECTED TO SUPPLY AIR DUCTS FROM AH.
 - WHERE SUPPLY AIR DUCTS ARE SHOWN AS DISCONTINUOUS, ENSURE THAT THEY ARE RECONNECTED TO SUPPLY AIR DUCTS FROM AH.
 - FLEXIBLE SUPPLY AIR DUCTS SHALL NOT BE USED BELOW FIRST FLOOR. FLEXIBLE CONNECTOR AT SUPPLY AND RETURN TO AIR HANDLER, ONLY, SHALL BE INSTALLED.
 - REPLACE EXISTING SUPPLY AIR GRILLE WITH SIMILAR TYPE AND CONNECT TO EXISTING SUPPLY AIR DUCT
 - REPLACE ALL EXISTING DUCT INSULATION AND VAPOR BARRIER WITH NEW, BELOW FIRST FLOOR.

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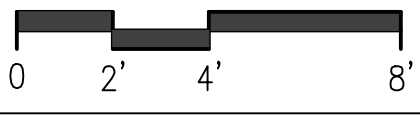
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JOB #: 2012.051
DATE: 10-26-12
DRAWN BY: MHF
CHECKED BY: KSJ

BASEMENT
FLOOR PLAN
HVAC

A1 BASEMENT FLOOR PLAN - HVAC
M001

GENERAL NOTE:
DRAWINGS ARE SCHEMATIC. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DEVICE LOCATIONS AND INTERCONNECT ROUTING WITH ARCHITECTURAL AND STRUCTURAL CONFIGURATIONS AND REQUIREMENTS.

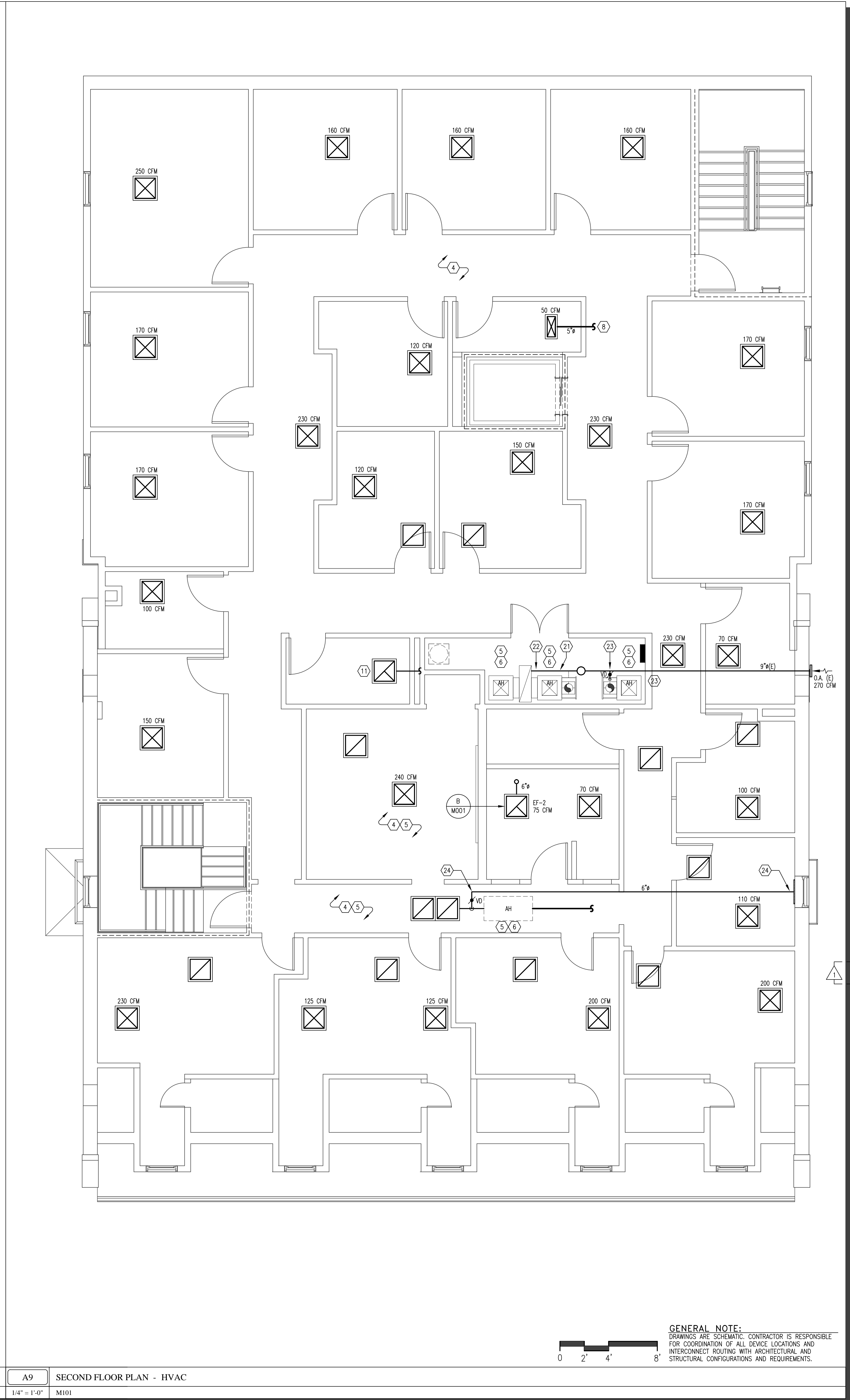
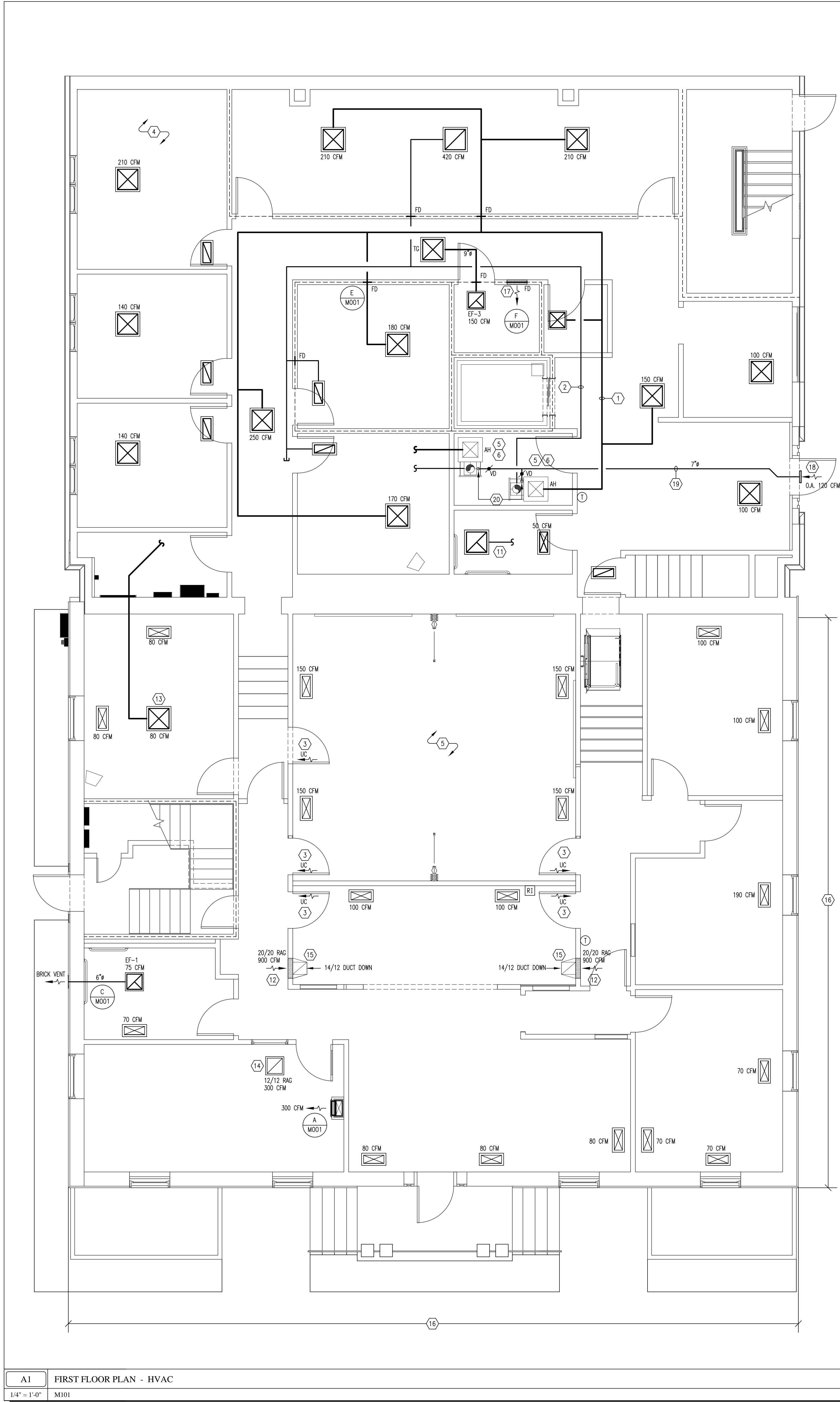



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Visual Communications
Integrated Project Delivery
Community Planning
Architecture

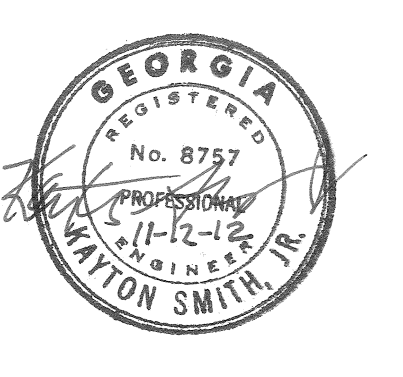
M001

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Chatham County
Human Resources
Offices
123 Abercorn Street
Savannah, Georgia



SEAL
MATTOW SMITH, P.E.
No. 8755
State of Georgia
Expires 12-12-15

| # | Revision Description | Date |
|---|--|----------|
| 1 | REVISED DRAWING ISSUED UNDER ADDENDUM #1 | 05-20-13 |

HVAC NOTES

1. REROUTE MAIN SUPPLY AIR DUCT TO AVOID NEW ELEVATOR. COORDINATE NEW DUCT WITH NEW 1-HOUR RATED WALLS. SIZE DUCTS ACCORDING TO EXISTING AIR VOLUME PROVIDED.
2. REROUTE MAIN RETURN AIR DUCT TO AVOID NEW ELEVATOR. COORDINATE NEW DUCT WITH NEW 1-HOUR RATED WALLS. SIZE DUCTS ACCORDING TO EXISTING AIR VOLUME PROVIDED.
3. UNDER CUT (UC) DOOR 3/4" FOR AIR FLOW AND VENTILATION.
4. COORDINATE ALL DIFFUSERS WITH LIGHTING. COORDINATE WITH ARCHITECT. (TYPICAL).
5. EXISTING AIR HANDLER AND DUCT WORK TO REMAIN. CLEAN AND SERVICE AIR HANDLERS, CONDENSING UNITS, AND DUCTS. REPLACE ALL FAN BELTS AND BEARINGS AS REQUIRED. (TYPICAL).
6. INSTALL TWO (2) FLOAT SWITCHES AT ALL AIR HANDLERS. (TYPICAL)
7. ROUTE EXHAUST DUCT UP THROUGH ROOF JACK. SIZE OF DUCT SHOWN ON PLAN. SEE DETAIL 5/M001.
8. CONNECT TO MAIN TRUNK DUCT.
9. AIR FLOWS ARE SHOWN AS TARGET VALUES. EXISTING DUCT ARE NOT KNOWN AND SOME FLOW VALUES MAY NOT BE ACHIEVABLE. BALANCE FOR BEST POSSIBLE FLOW VALUE AMOUNTS.
10. ALL THERMOSTATS SHALL BE NEW. SEE SPECIFICATIONS.
11. EXISTING EXHAUST FAN SHALL REMAIN. CLEAN AND SERVICE.
12. INSTALL NEW RETURN AIR GRILLE IN WALL.
13. EXISTING CEILING SUPPLY AIR GRILLE AND DUCT SHALL REMAIN. EXTRA AIR SUPPLIED FROM AIR HANDLER NEAR NEW ELEVATOR.
14. INSTALL NEW FLOOR RETURN AIR GRILLE.
15. RETURN AIR DUCT CONCEALED IN CASE WORK.
16. REPLACE ALL SUPPLY AIR FLOOR GRILLES WITH NEW.
17. 10/10 WALL GRILLE WITH FIRE DAMPER. MOUNT 18" AFF. TO BOTTOM OF GRILLE.
18. PENETRATE WALL HIGH ABOVE ENTRY DOOR AND BELOW SECOND FLOOR. INSTALL NEW 12/12 WEATHERPROOF LOUVER WITH INSECT SCREEN ON WALL EXTERIOR.
19. INSTALL NEW 7" x 9" GALVANIZED DUCT FROM OUTSIDE AIR LOUVER TO ABOVE CEILING AREA AT MECHANICAL ROOM.
20. CONNECT 6" x 8" OUTSIDE AIR DUCTS WITH VOLUME DAMPER TO BOTH EXISTING RETURN AIR DUCTS ABOVE CEILING FROM NEW 7" x 9" COMMON OUTSIDE AIR DUCT.
21. REROUTE 9" x 6" OUTSIDE AIR DUCT FROM RETURN AIR PLENUM OF 3.5 TON AIR HANDLER TO COMMON RETURN AIR DUCT BETWEEN TWO 3.5 TON AIR HANDLERS. SEAL HOLE IN RETURN AIR PLENUM WHERE OUTSIDE AIR DUCT IS REMOVED.
22. TRANSITION OUTSIDE AIR DUCT FROM 9" x 10" TO 12/6" SIZE ENTRY AT COMMON RETURN AIR DUCT. SEE DETAIL 5/M001.
23. CONNECT NEW 5" x 8" OUTSIDE AIR DUCT TAP AND VOLUME DAMPER ONTO EXISTING 9" x 6" OUTSIDE AIR DUCT. ROUTE AND CONNECT TO AIR HANDLER'S RETURN AIR DUCT AS SHOWN.
24. INSTALL NEW 6" x 8" OUTSIDE AIR DUCT AND VOLUME DAMPER ABOVE CEILING. CONNECT TO AIR HANDLER'S RETURN AIR DUCT AND TO EXISTING ATTIC LOUVER. ROUTE TO AIR HANDLER WITH CLEAR PATH FOR SERVICE ACCESS.
25. REPLACE ALL SUPPLY AIR FLOOR GRILLES AND BOOTS THAT ARE NOT NOTED FOR DEMOLITION AND CONNECT TO EXISTING BELOW-FLOOR DUCTS, UNLESS NOTED OTHERWISE.

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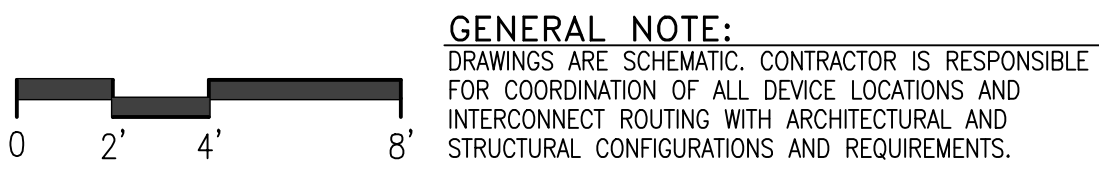
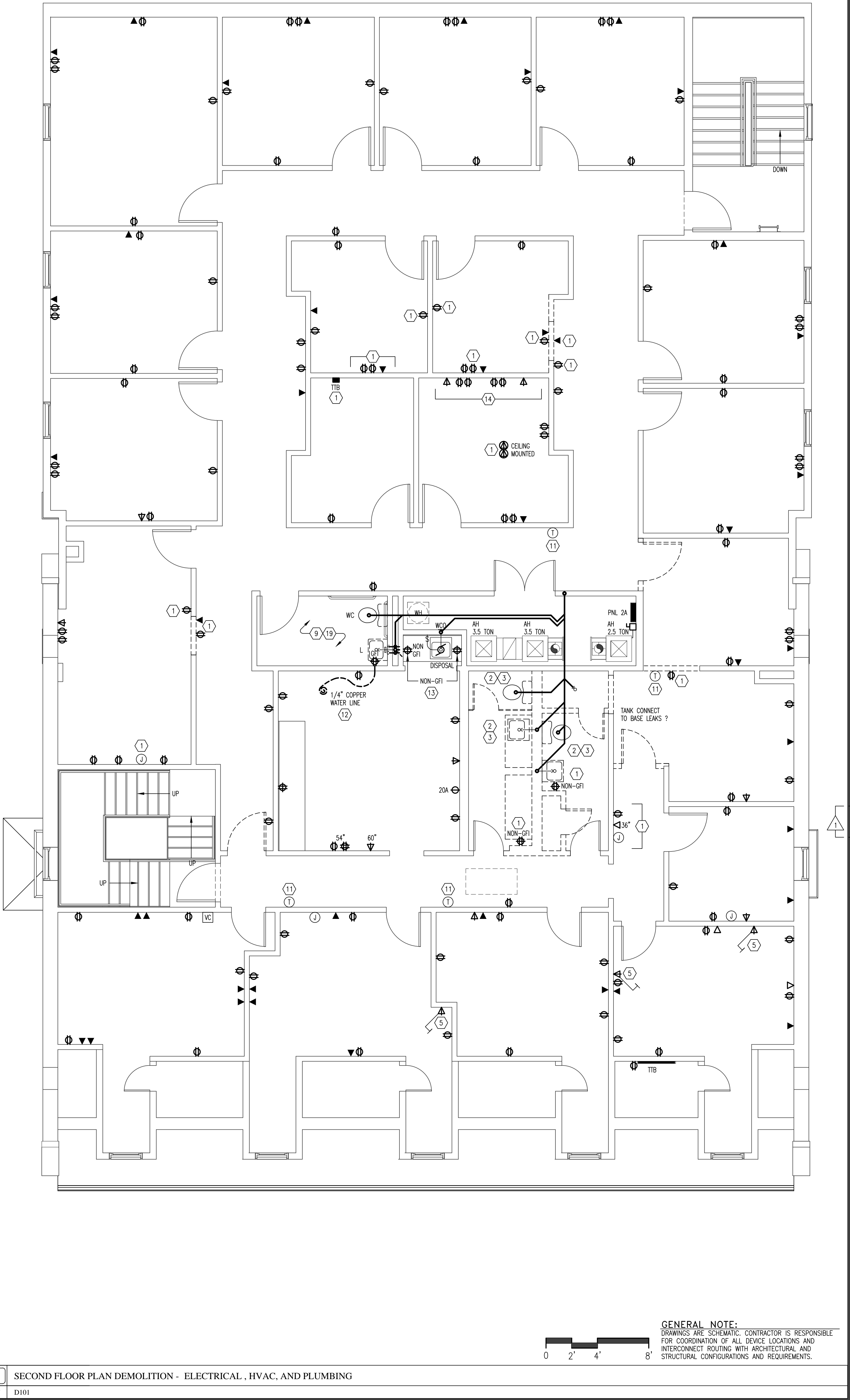
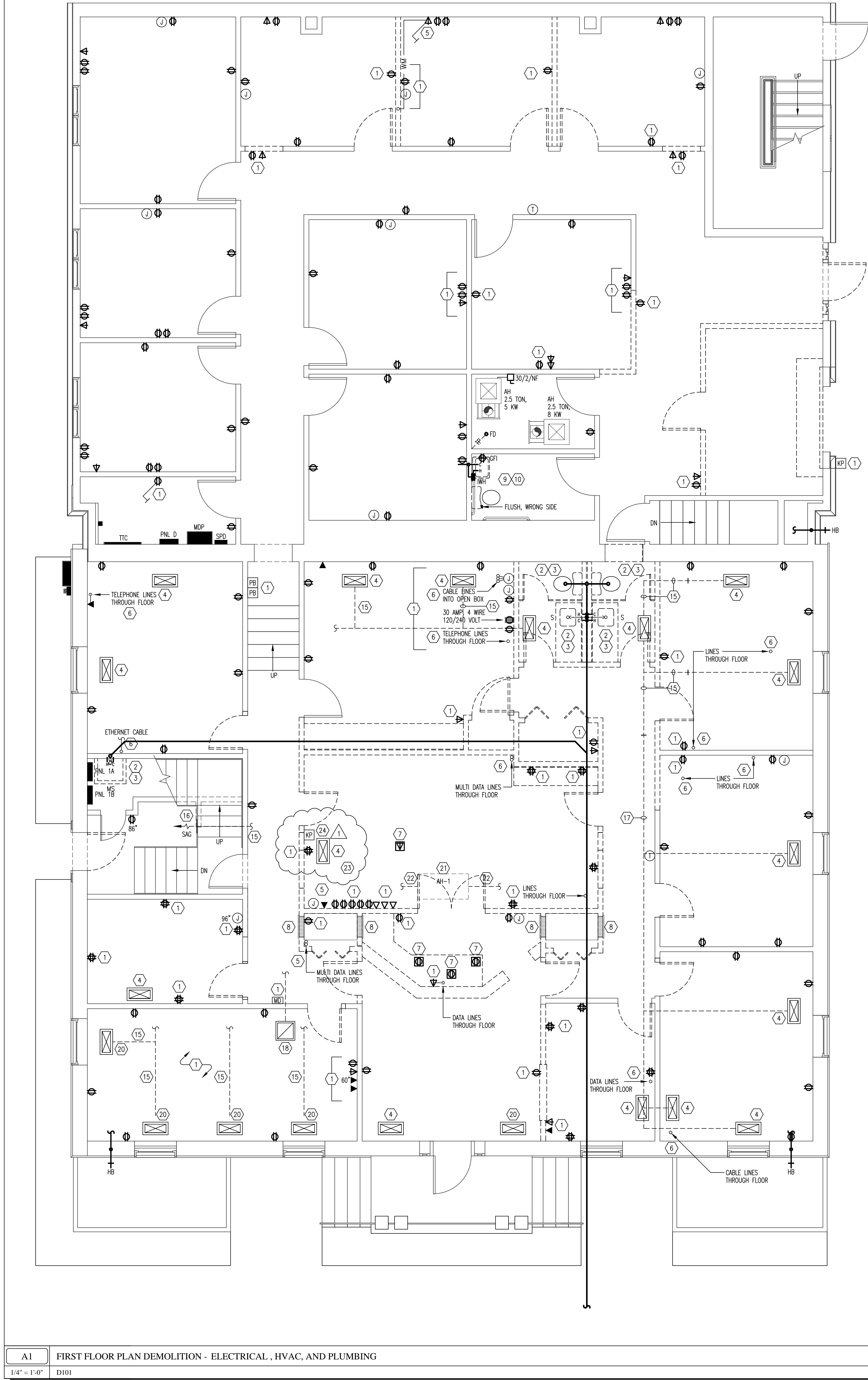
FIRST+ SECOND FLOOR PLANS HVAC

LOT + BARBER


Visual Communications
Integrated Project Delivery
Community Planning
Architecture

M101


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SEAL
MATTY SMITH, P.E.
No. 8759
STATE OF GEORGIA
12-12-12

| # | Revision Description | Date |
|---|--|----------|
| 1 | REVISED DRAWING ISSUED UNDER ADDENDUM #1 | 05-20-13 |

DEMOLITION NOTES

1. REMOVE DEVICE(S) FROM WALL AND SECURE CIRCUIT.
2. REMOVE PLUMBING FIXTURE, CAP AND SEAL SANITARY WASTE LINE BELOW FLOOR.
3. REMOVE EXPOSED WATER LINES, CAP AND SEAL WITHIN STRUCTURE.
4. REMOVE FLOOR SUPPLY AIR GRILLE.
5. REMOVE DATA TELEPHONE WIRE MOLD AND WIRE FROM WALL.
6. REMOVE DATA TELEPHONE WIRE FROM HOLE IN FLOOR. PATCH FLOOR.
7. REMOVE DEVICE FROM FLOOR AND SECURE CIRCUIT. REPAIR FLOOR.
8. REMOVE RETURN AIR GRILLES AND DUCT WORK ABOVE FLOOR.
9. REMOVE PLUMBING FIXTURES. TEMPORARILY CAP SANITARY WASTE LINE.
10. REMOVE WH FROM WALL AND SECURE WATER LINES FOR FUTURE.
11. DISCONNECT AND REMOVE THERMOSTAT.
12. REMOVE EXPOSED WATER LINE. CAP AT SOURCE.
13. REPLACE RECEPTACLES DEVICE WITH NEW GFI RECEPTACLES.
14. REMOVE DEVICE(S) FROM WALL AND SECURE CIRCUITS. SEE DRAWING E101 FOR DEVICES THAT REMAIN.
15. REMOVE DUCT WORK AND CAP DUCT BELOW FLOOR AT MAIN DUCT.
16. REMOVE SUPPLY AIR GRILLE AND DUCT. PATCH WALL. REPAIR/ CAP EXISTING MAIN DUCT.
17. EXISTING DUCT SHALL REMAIN.
18. REMOVE FLOOR RETURN AIR FILTER GRILLE.
19. DISCONNECT WATER LINES FROM PLUMBING FIXTURE.
20. REMOVE FLOOR SUPPLY AIR GRILLE. COVER OPENING WITH MATCHING SUB-FLOOR PLYWOOD WITH THICKNESS TO MATCH ADJACENT SURFACES.
21. REMOVE AIR HANDLER (AH) IN CRAWL SPACE. DISCONNECT ELECTRIC SERVICE AND CONTROLS.
22. REWORK EXISTING DUCTS TO RECONNECT WITH NEW AIR HANDLER IN BASEMENT. SEE DRAWING 1/AD01.
23. DISCONNECT WIRING FROM SECURITY PANEL. REMOVE SECURITY PANEL AND SAVE FOR REINSTALLATION. DO NOT REMOVE SECURITY ALARM SYSTEM DEVICES OR WIRING EXCEPT AS NOTED SPECIFICALLY.
24. REMOVE KEYPAD AND SAVE FOR REINSTALLATION.

GENERAL NOTES

1. ALL ITEMS REMOVED SHALL BE RECYCLED PER REQUIREMENTS OF SPECIFICATION 017419 "CONSTRUCTION WASTE MANAGEMENT."

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FIRST + SECOND FLOOR PLANS DEMOLITION MEP

1. 3" GALVANIZED RIGID STEEL SLEEVES THROUGH FLOOR AND CEILING FOR DATA WIRING. LOCATE PER OWNERS ICS DEPARTMENT.
2. TERMINAL THERMOSEAL ALL EXISTING CABLES TO PREVENT FIRE HAZARD.
3. CONNECT 5 BASE BOARD RECEPTACLES TO EXISTING RECEPTACLE CIRCUIT. REMOVE EXISTING DEVICE.
4. REPLACE BASE BOARD RECEPTACLES TO EXISTING RECEPTACLE CIRCUIT. REMOVE EXISTING DEVICE.
5. BOXED IDENTIFIERS IN TRAINING ROOM 104 ARE DESCRIBED IN THE PROJECT DOCUMENTS. SEE STAGEFORD DRAWINGS FOR IDENTIFIER NUMBERS, MOUNTING HEIGHTS, LOCATION OF DEVICES, AND REQUIRED PARTS.
6. ROUTE NEW COMMUNICATIONS WIRING BELOW FLOOR IN CRAWL SPACE TO ROOM 123.
7. NEW DATA/COMMUNICATIONS OUTLET. SEE DETAIL A/E001.
8. NEW DATA/COMMUNICATIONS FACELATE AND CAT 6 WIRING. TERMINATE WIRING AT DATA ROOM AND FACELATE CONNECTOR. REMOVE RECEPTACLE. CONNECT TO NEAREST EXISTING RECEPTACLE CIRCUIT.
9. REPLACE EXISTING KEYPAD WITH NEW WEATHER PROOF CARD READER CONNECT TO NEW SECURITY SYSTEM. MOUNT 42" AFF.
10. TWO EXISTING BLANK WALL PLATES. ONE IN CORRIDOR OFFICE WAY- OFF-WHITE COLOR WIREMOLD 5000 SERIES OR SAME WAY AND FITTINGS
11. LIFT BATTERY PACK MOUNTED ABOVE CEILING.
12. FIRST TWO COBALT CELL BATTERIES. OWNER'S INSTRUCTIONS. PROVIDE 1/2" CONDUIT TO ROOM 123.
13. INSTALL NEW PULL BOX ABOVE CEILING WHERE WIRING IS EXPOSED TO PROTECT FROM DAMAGE.
14. INSTALL NEW JUNCTION BOX ONTO CONDUIT TOP AND RECONNECT MC CABLE USING COMPATIBLE FITTINGS.
15. PATCH WALL 84" BY 48" OVER NEW JUNCTION BOX. ROUTE COAX CABLE FROM CONNECTOR TO DATA ROOM 123.
16. COORDINATE DEVICES WITH CASE WORK AND ARCHITECT.
17. ADD LOCK REQUIREMENT TO EXISTING RECEPTACLE MOUNT 42" AFF.
18. REMOVE TELEPHONE WIRING FROM OUTLET TO TELEPHONE TERMINALS. REMOVE DATA WIRING FROM OUTLET TO DATA TERMINALS. INSTALL BLANK COVER ON OUTLET BOX IF NO OUTLET BOX WAS ORIGINAL. PATCH WALL OR FLOOR OPENING WHERE TELEPHONE OR DATA TERMINAL REMOVED.
19. REMOVE EXISTING RECEPTACLES AND ASSOCIATED CIRCUIT WIRING FROM THIS ROOM. KEEP CIRCUIT WIRING IN TWO OUTLETS.
20. ADD NOTES TO ELECTRICAL DRAWINGS. INSTALL BLANK COVERS ON OUTLET BOXES WHERE DEVICES ARE REMOVED.
21. EXISTING AIR HANDLER AND DISCONNECT SHALL REMAIN.
22. EXISTING HEATER SHALL REMAIN.
23. REINSTALL RECEPTACLE. RECONNECT TO SECURITY PANEL.

1. ALL DATA DEVICES IN OFFICES SHALL RECEIVE 2 DATA DROPS (CAT 6) CABLE BACK TO FLOOR DATA ROOM.
2. CLIENT IS USING A VOIP PHONE SYSTEM, THEREFORE, THERE WILL BE NO TRADITIONAL HARD LINE FOR PHONES, EXCEPT THE ONLY PHONE LINES SHALL BE AT FAX/ COPIER MACHINES AND ELEVATOR.
3. ALL EXISTING TELEPHONE AND DATA WIRING WITHIN BUILDING SHALL BE COMPLETELY DEMOLISHED AND REMOVED. ABANDONED PHONE AND DATA DEVICE LOCATIONS SHALL HAVE A BLANK COVER PLATE INSTALLED.
4. REINSTALL SECURITY PANEL AT LOCATION AS DIRECTED BY OWNER.

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FIRST+ SECOND
FLOOR PLANS
POWER