

CHATHAM COUNTY PURCHASING DEPARTMENT

ADDENDUM NO. 1 TO BID NO. 14-0014-4

FOR: CARVER HEIGHTS COMMUNITY CENTER ADDITION

PLEASE SEE THE FOLLOWING FOR ADDITIONS, CLARIFICATIONS AND/OR CHANGES:

1. PLEASE SEE ATTACHED SHEET (1 sheet) FOR *RESPONSES TO QUESTIONS RECEIVED*
2. PLEASE SEE ATTACHED REVISED CIVIL PLAN SHEETS (11 sheets):
C1, C2, C3, C4, C5, C7, C8, C9, C10, C11, C12
3. PLEASE SEE ATTACHED LANDSCAPE PLAN SHEET (1 sheet) :
L1

BID OPENING REMAINS: 2PM, WEDNESDAY, MARCH 26, 2014

3-19-14
DATE



ROBERT E. MARSHALL
SENIOR PROCUREMENT SPECIALIST
CHATHAM COUNTY

Carver Heights – Addition to Existing Community Center
Addendum #1 – Response to Questions received and revised Civil drawings
March 18, 2014

Questions received to date:

1. Page A7 – “is the double hung window with the dimensions of 2-10 x 5-0 a double hung slider?”
Answer: The new 2-10 x 5-10 windows are a pair of aluminum double hung windows. The configuration should match the existing windows in size and appearance but be manufactured to meet current requirements for impact with low-E glazing.
2. Page A7 – “Are doors type A and B wooden (drawing shows two type A’s) one hollow metal, one unlabeled?”
Answer: All new doors are hollow metal as shown on the door and frame schedule. Second Type “A” door should be deleted on “Door Types”.
3. “On the door schedule door 19A is listed as a single, on the drawing on page A-2 10A appears to be a pair. Please advise.”
Answer: Door 19A is a pair of doors as shown on sheet A-2.
4. “What are the hardware sets to consist of?”
Answer: All new doors are to be hollow metal with 3 ball bearing hinges on each, overhead exposed closers, push/pull cylinder locks, weatherstripping and ADA compliant thresholds for all exterior doors, surface mounted panic devices as shown on door & frame schedule.
5. Clarification – Window D:
Answer: The new 2-10 x 5-10 windows are a pair of aluminum double hung windows. The configuration should match the existing windows in size and appearance but be manufactured to meet current requirements for impact with low-E glazing.
6. Clarification – Window E:
Answer: The new 2 x 4 fixed glass windows are “storefront”, fixed glass, no divided lites, Low-E.
7. “Please confirm finish (for windows) is to black anodized.”
Answer: Yes
8. “We know the glass is to be impact need to know if glass is clear or tinted and if there is a Low-E required”
Answer: Clear glass with Low-E
9. All new attic spaces – apply spray foam insulation to underside of roof decking, min R-30.
10. Sheet L-1 was not included in the bid docs.
Sheet L-1 is included with this addendum.
11. Civil design construction drawings were still in process when the bid docs were released. The approved set of approved civil drawings is attached (which include some revisions).

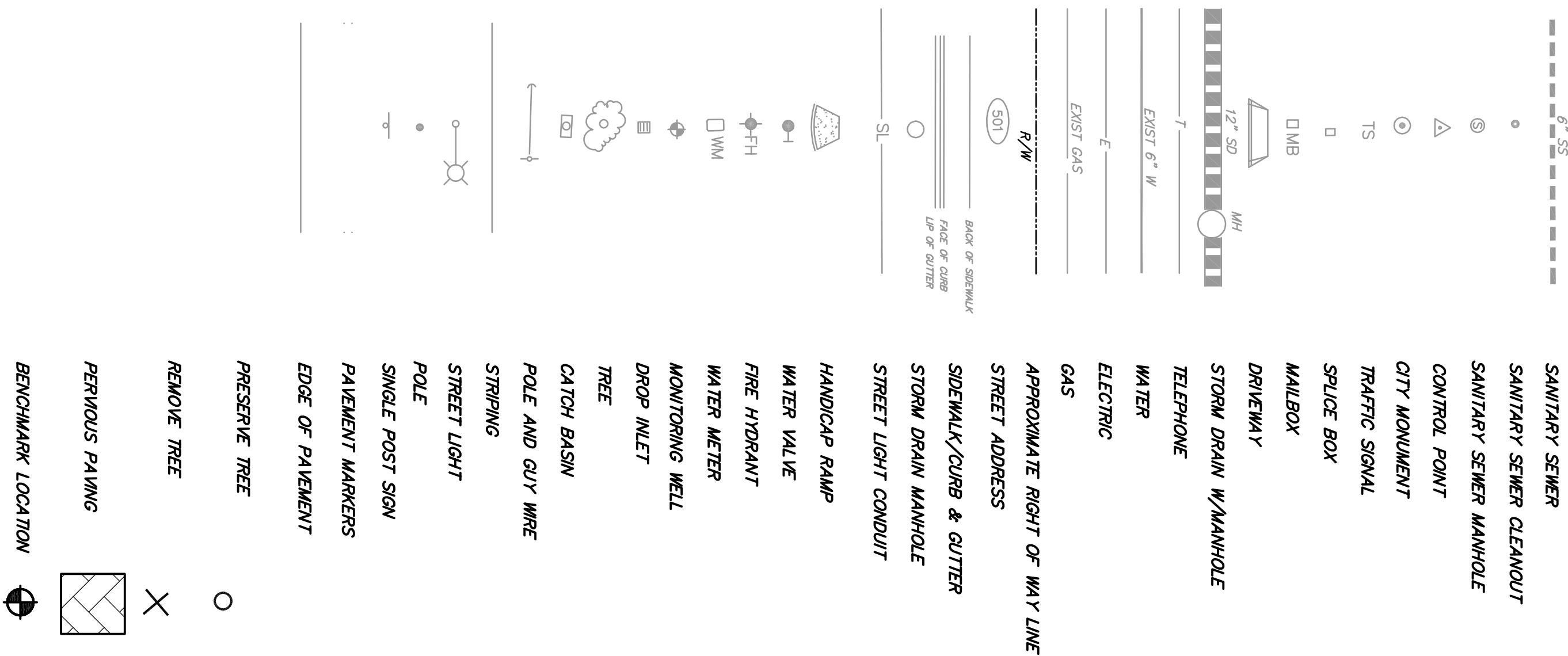
Submitted by: Anne K. Smith, Architect

PROJECT DESCRIPTION

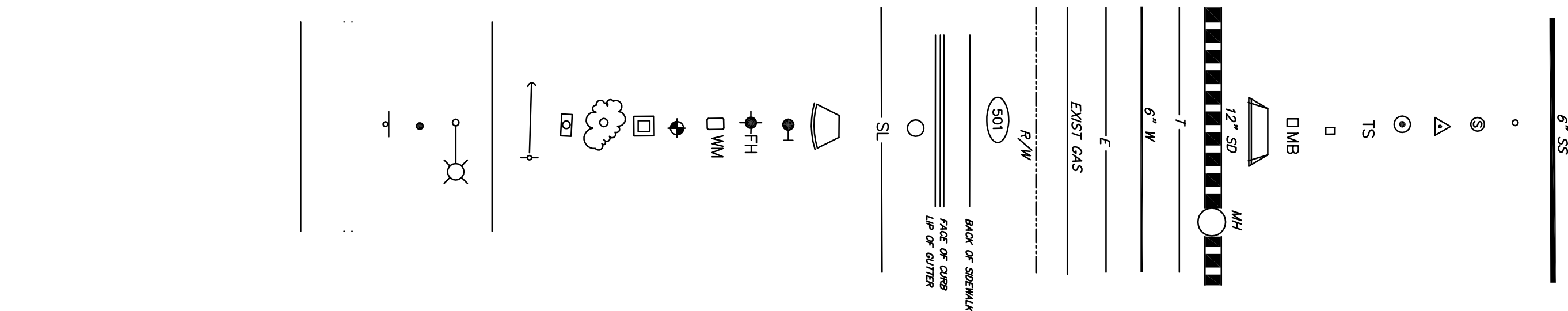
THIS FACILITY WILL CONTINUE TO BE OPERATED AS A COMMUNITY CENTER.
THE PROPERTY IS NOT IN A FLOOD ZONE ACCORDING TO FLOOD INSURANCE RATE MAP 1505IC0734F.
THE CURRENT ZONING FOR THE PROPERTY IS R6.
PARKING PROVIDED = 40 SPACES
CALCULATED GREEN SPACE PERCENTAGE AFTER PROJECT
= $\frac{31,870}{54,450} \times 100 = 58.5\%$

LEGEND

EXISTING

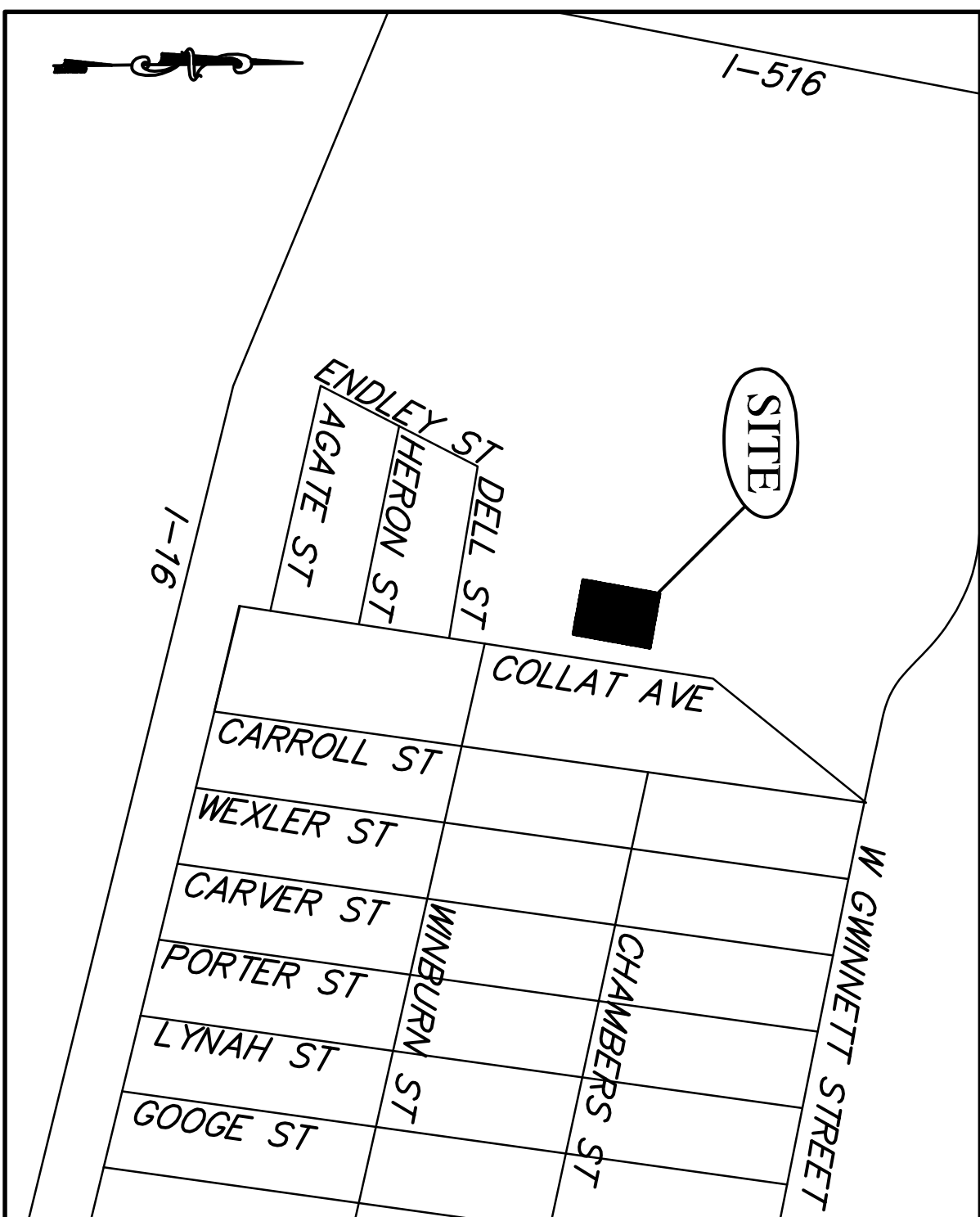


PROPOSED



IMPROVEMENT PLANS FOR
CARVER VILLAGE
COMMUNITY CENTER
912 COLLAT AVENUE
P.I.N. 2-0049-04-001

IN CHATHAM COUNTY, GA



VICINITY MAP

NO SCALE

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	EXISTING CONDITIONS AND SITE DEMOLITION PLAN
SHEET C3	SITE LAYOUT PLAN
SHEET C4	GRADING AND DRAINAGE PLAN
SHEET C5	CIVIL UTILITIES PLAN
SHEET C6	UTILITY PROFILES (NOT USED)
SHEET C7	MISCELLANEOUS NOTES & DETAILS
SHEET C8	MISCELLANEOUS NOTES & DETAILS
SHEET C9	EROSION AND SEDIMENT CONTROL PLAN
SHEET C10	EROSION AND SEDIMENT CONTROL PLAN-PHASE 1
SHEET C11	EROSION AND SEDIMENT CONTROL PLAN-PHASE 2
SHEET C12	EROSION AND SEDIMENT CONTROL PLAN-PHASE 3
SHEET L1	LANDSCAPE PLAN

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
ADU	ADJUSTABLE
AGGR	AGGREGATE
ALT	ALTERNATE
APPROX	APPROXIMATE
●	AT
BC	BACK OF CURB
BOR	BEGIN CURB RETURN
BOS	BETWEEN GRADE SURFACE
BVC	BEGIN VERTICAL CURVE
BUE	BEGIN VERTICAL CURVE ELEVATION
BW	BETWEEN
BW	TOP OF ROADWALK DECK
CB	CATCH BASIN
C&G	CURB AND GUTTER
CL	CLASS
Q	CENTERLINE
CO	CLEARANCE
CONC	CONCRETE
CLR	CLEARANCE
CL	CORRODED METAL PIPE
COMP	COMPRESSIVE POINT
CLV	CULVERT
DBC	DEPRESSED BACK OF CURB
DI	DROP INLET
DIA	DIAMETER
D/W	DRIVEWAY
DW	DEPRESSED BACK OF CURB
E	EACH
E, ELEC	ELECTRICAL
EOR	END OF ROAD
EG	END CURB RETURN
EL	EXISTING GROUND
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ENST	EXISTING
(E)	EAST
END	END VERTICAL CURVE
EVC	END VERTICAL CURVE ELEVATION
EVEE	END VERTICAL CURVE ELEVATION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FT	FEET
G	GAS
GB	GRADE BREAK
GRD	GROUND
SHAV	SHOULDER
GV	GATE VALVE
H, HORIZ	HORIZONTAL
IC	INTERCONNECT
ID	INSIDE DIAMETER
IG	INVERT
IN	INCH
INV	INVERT
J	JOINT
JOINT	JOINT POLE
JOINT	JOINT
UNCT	UNCTION
UNCT	UNCTION
L/G	LINEAR FEET
L/G	UP OF GUTTER
L/G	LEFT

NOTE: CITY OF SAVANNAH RETAINS THE RIGHT TO ACCESS PROPERTY TO INSPECT STORMWATER FACILITIES.

PROJECT ARCHITECT
ANNE SMITH
LOMINACK KOLMAN SMITH
301 WEST BROUGHTON STREET
SAVANNAH, GA 31401
TEL 912-232-5561

DEVELOPER/OWNER
GREGORI ANDERSON
BUILDING SAFETY AND REGULATORY SERVICES
1117 EISENHOWER DRIVE
SAVANNAH, GA 31406
TEL 912-201-4300

UTILITIES PROTECTION CENTER

CALL THREE WORKING DAYS
BEFORE YOU DIG
THROUGHOUT GEORGIA
811

NO.	DATE	REVISION	BY

BENCH MARK

ELEVATION NAVD 88 DATUM
NAIL IN POWER POLE, SOUTH EAST CORNER
OF PROPERTY ELEV = 14.09

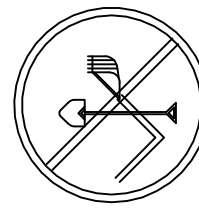
R VILLAGE COMMUNITY CENTER
P.I.N. 2-0049-04-001

COVER SHEET

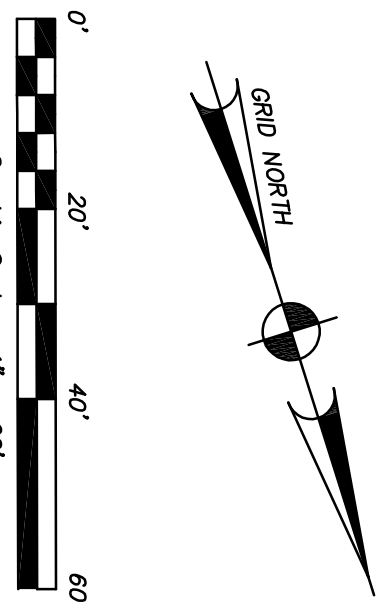


DATE	DRAWN BY	CHECKED BY	REVISION	BY
2/5/14	JH	TH		
DRAWING NUMBER				
C2 OF C12				

UTILITIES PROTECTION CENTER
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THIS AREA NOT WITHIN SURVEY LIMITS

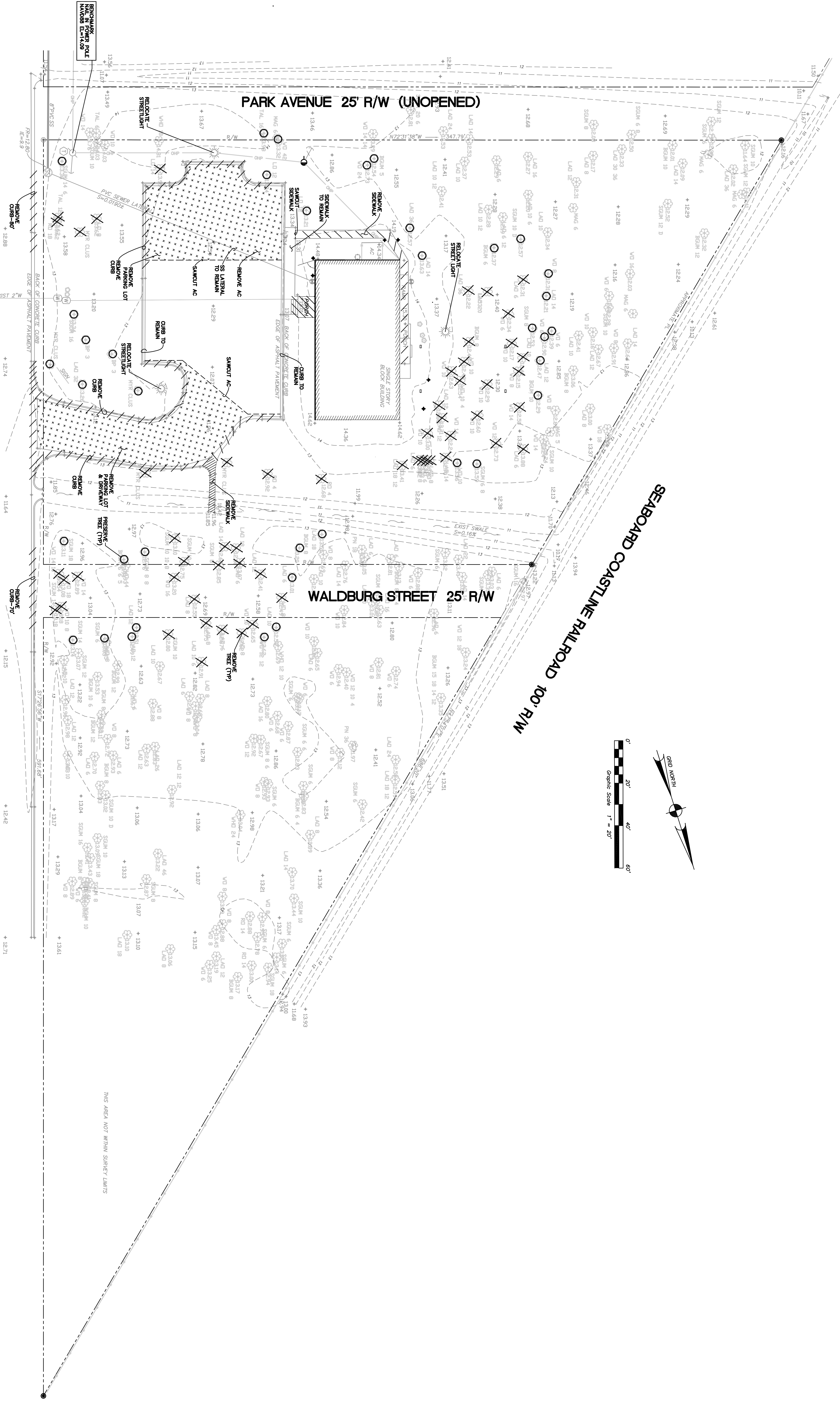


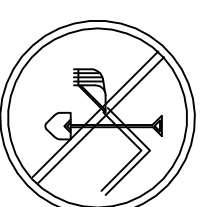
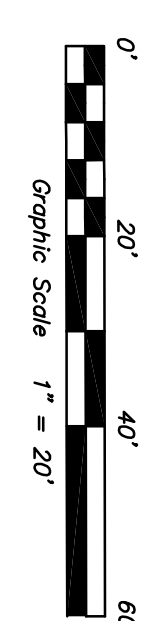
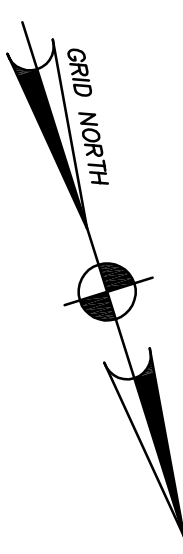
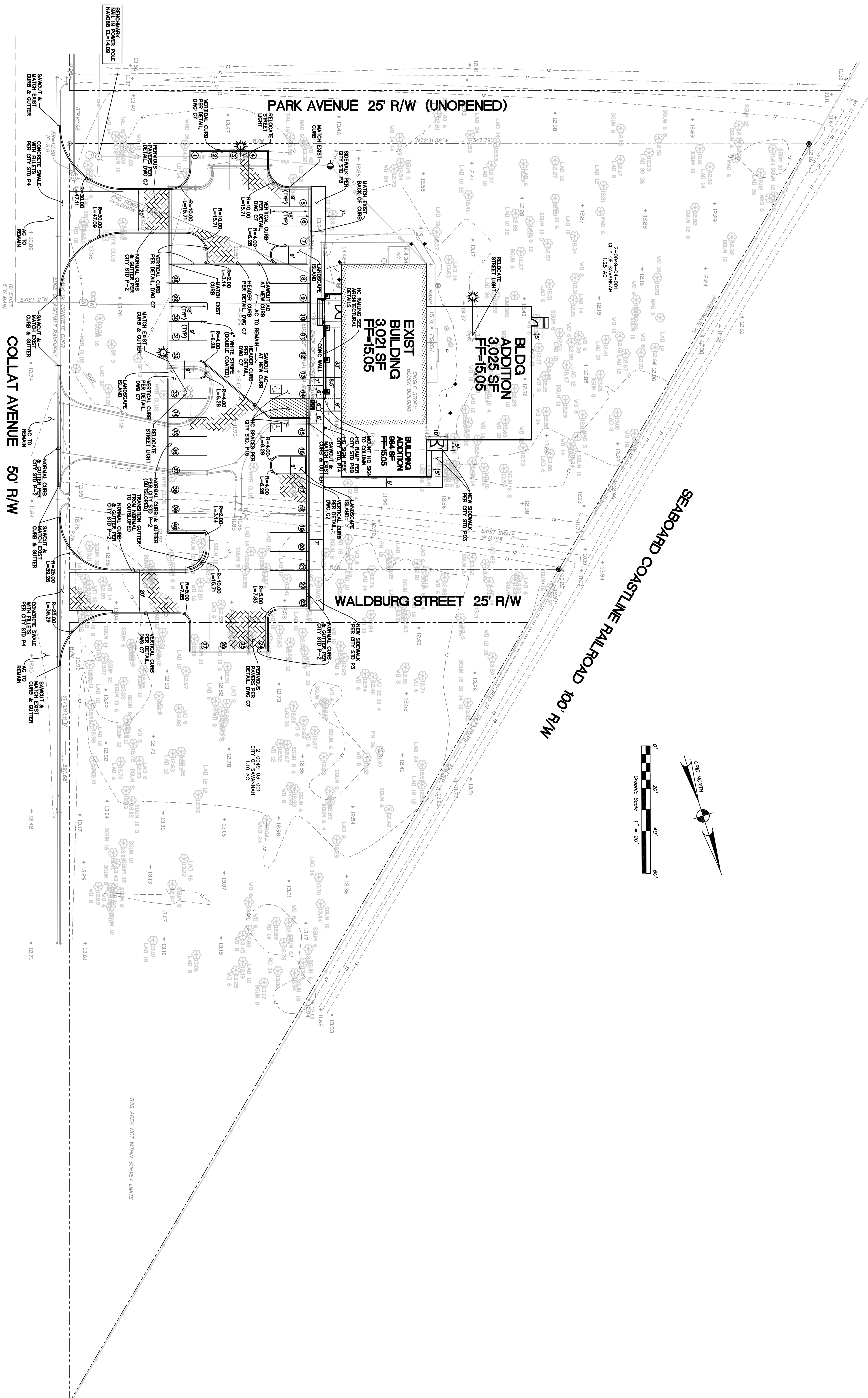
SEABOARD COASTLINE RAILROAD 100' R/W

WALDBURG STREET 25' R/W

PARK AVENUE 25' R/W (UNOPENED)

COLLAT AVENUE 50' R/W





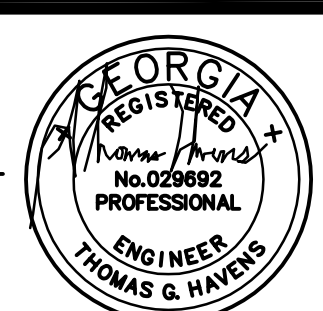
UTILITIES PROTECTION CENTER
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NO.	DATE	REVISION	BY

DATE 2/5/14
DRAWN BY CHECKED JH TH
DRAWING NUMBER C3 OF C12

CARVER VILLAGE COMMUNITY CENTER
912 COLLAT AVENUE
SAVANNAH, GA

SITE LAYOUT PLAN

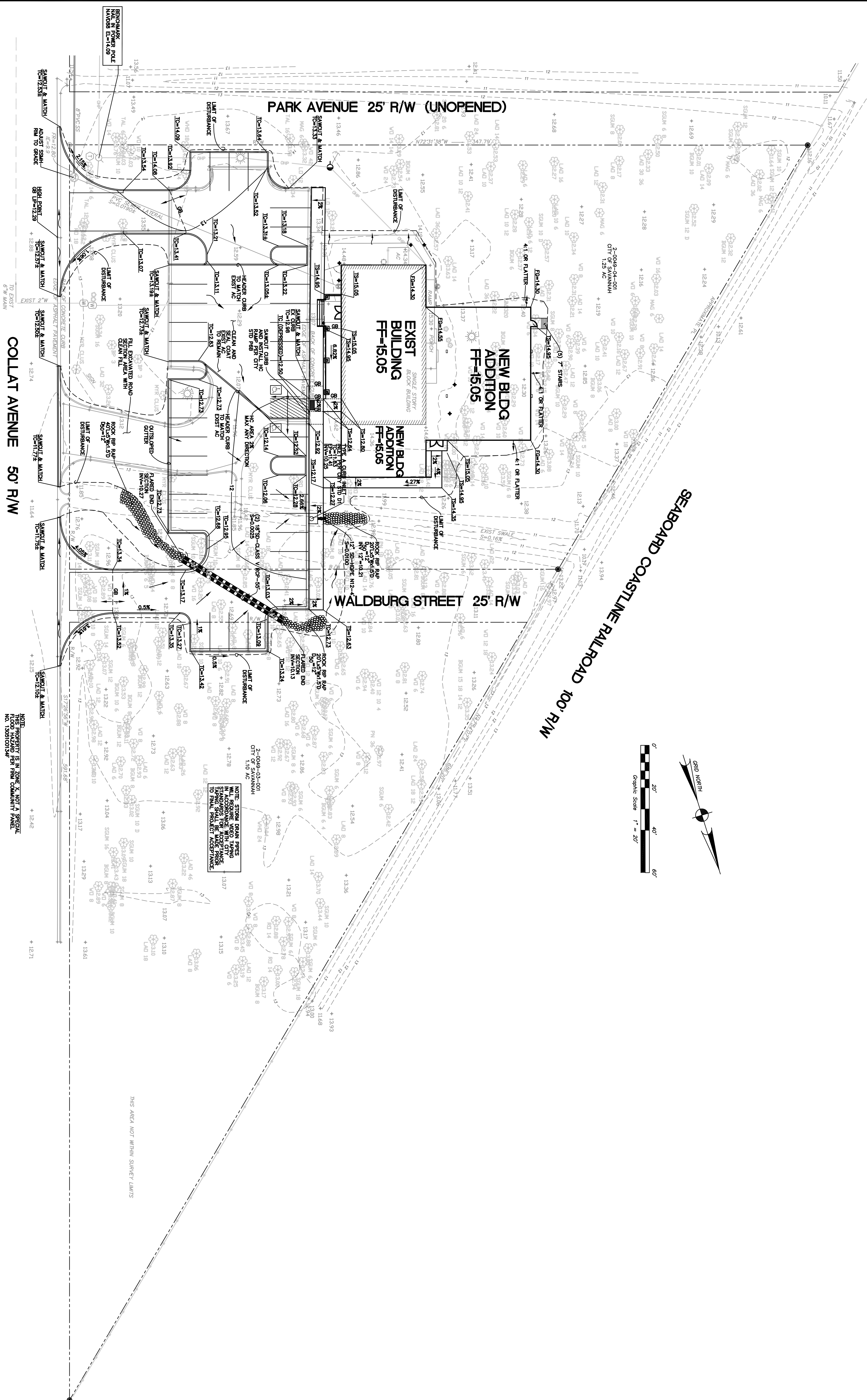




COASTAL
Civil Engineering

210 East Bay Street Savannah, GA 31401
Tel 912.332.9402 Fax 912.332.9403





NOTE:
THIS PROPERTY IS IN ZONE X, NOT A SPECIAL
FLOOD HAZARD PER FIRM COMMUNITY PANEL
NO. 13051C0134F

NOTE: STORAGE DRAWING FILES WILL REQUIRE VIDEO TAPING IN ACCORDANCE WITH CITY STANDARDS FOR ACCEPTANCE. TAPING SHALL BE MADE PRIOR TO FINAL PROJECT ACCEPTANCE.

THIS AREA NOT WITHIN SURVEY LIMITS

CARVER VILLAGE COMMUNITY CENTER
912 COLLAT AVENUE
SAVANNAH, GA

GRADING AND DRAINAGE PLAN



COASTAL
Civil Engineering

210 East Bay Street Savannah, GA 31401
Tel 912.232.9402 Fax 912.232.9403



LOMINACK
KOLMAL
SMITH
ARCHITECT



UTILITIES PROTECTION CENTER

CALL THREE WORKING DAYS
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NO.	DATE	REVISION	BY

DATE	2/5/14	
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C4 OF C12		

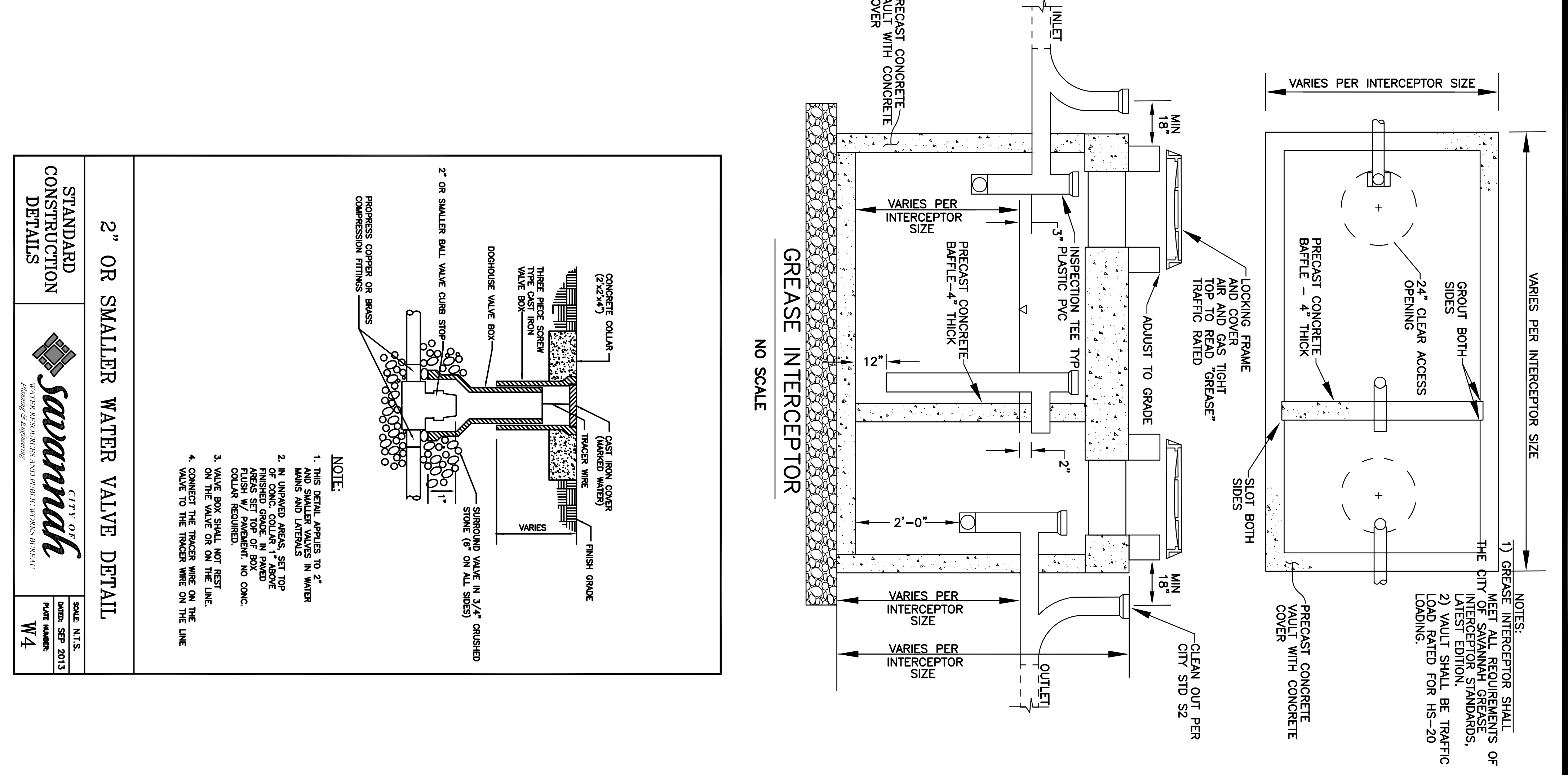
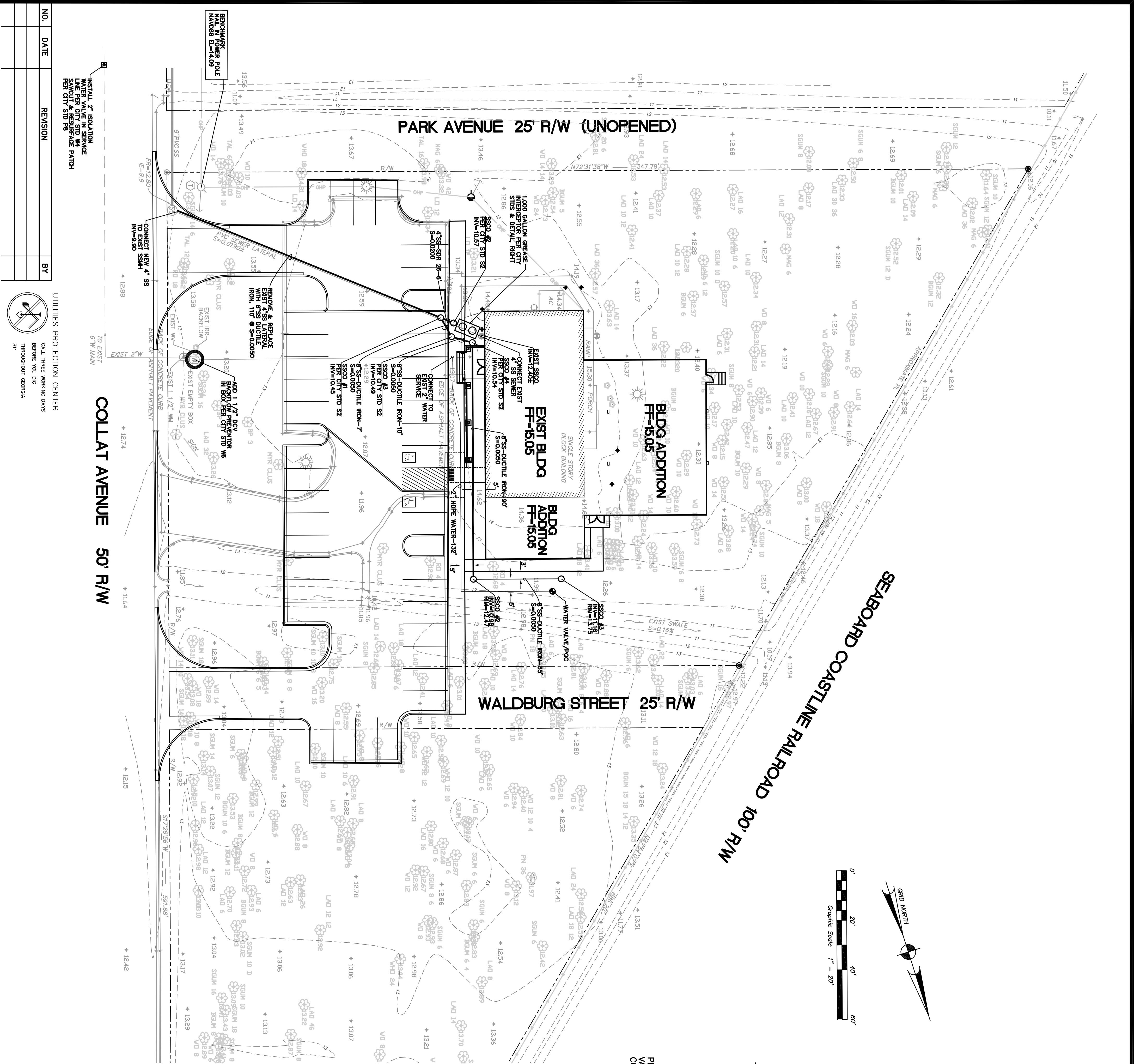
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2" OR SMALLER WATER VALVE DETAIL

STANDARD CONSTRUCTION DETAILS

W4

SCALE: N.T.S.

DATE: SEP 2013

DRAWN BY: JH

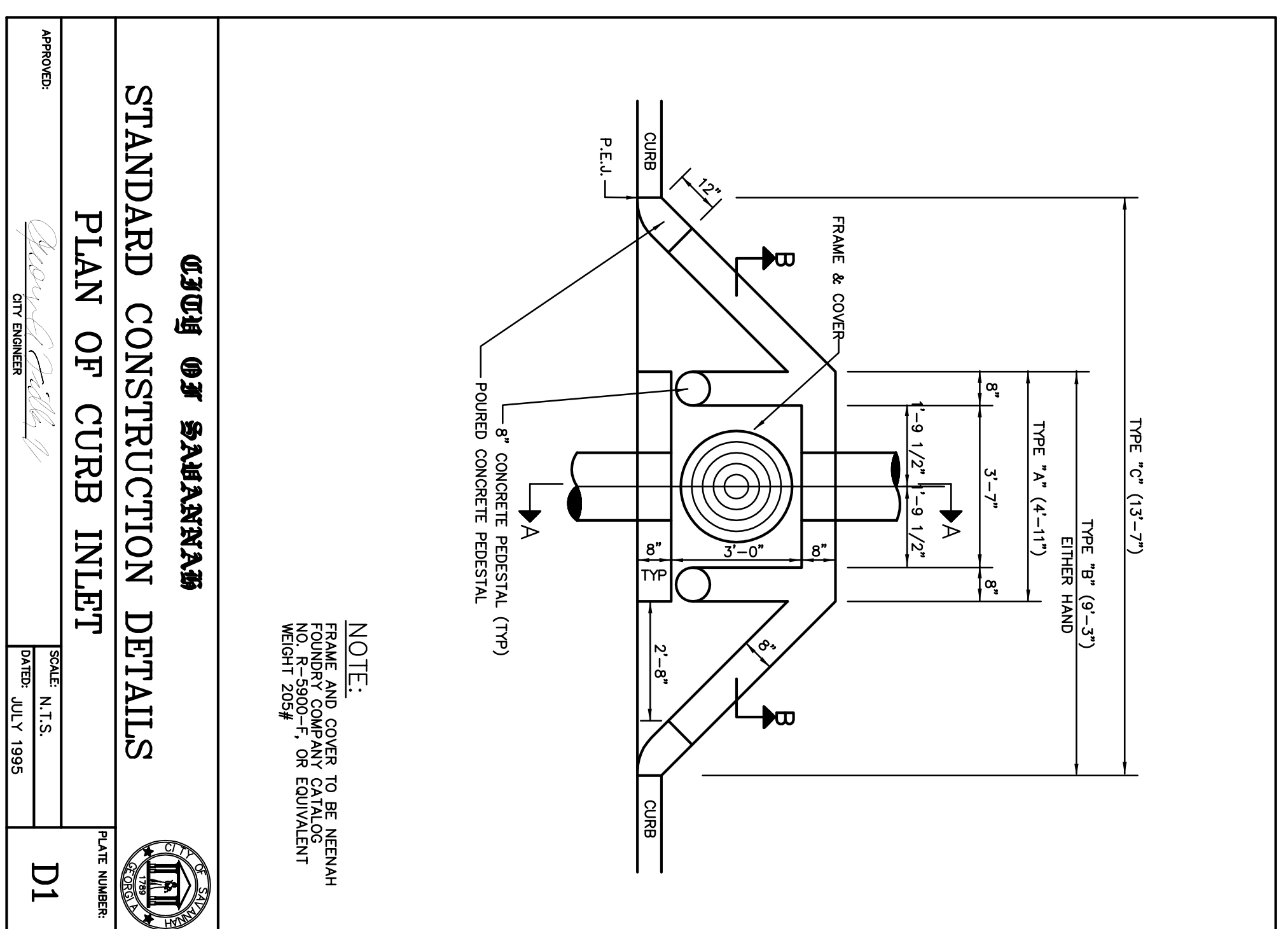
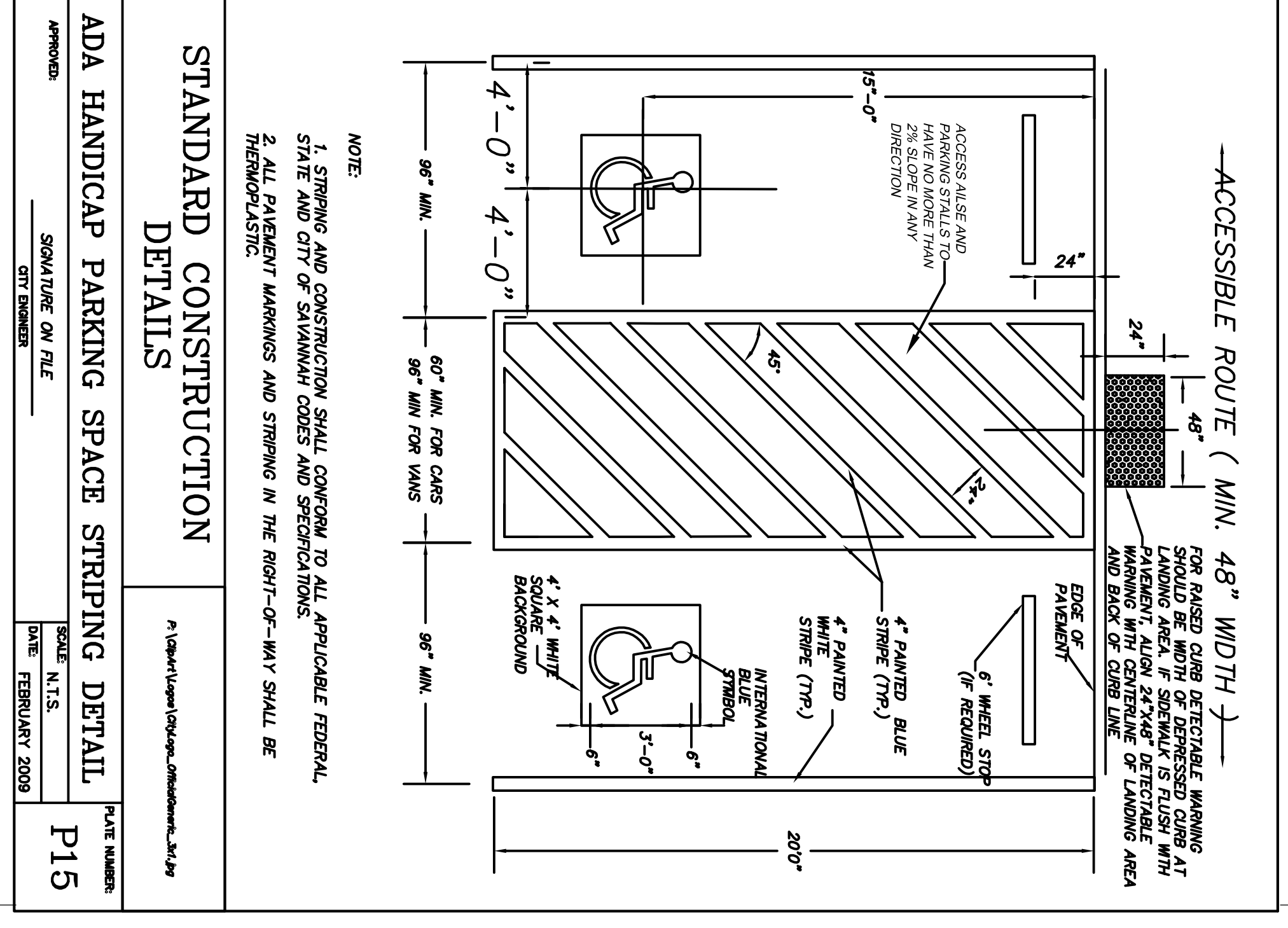
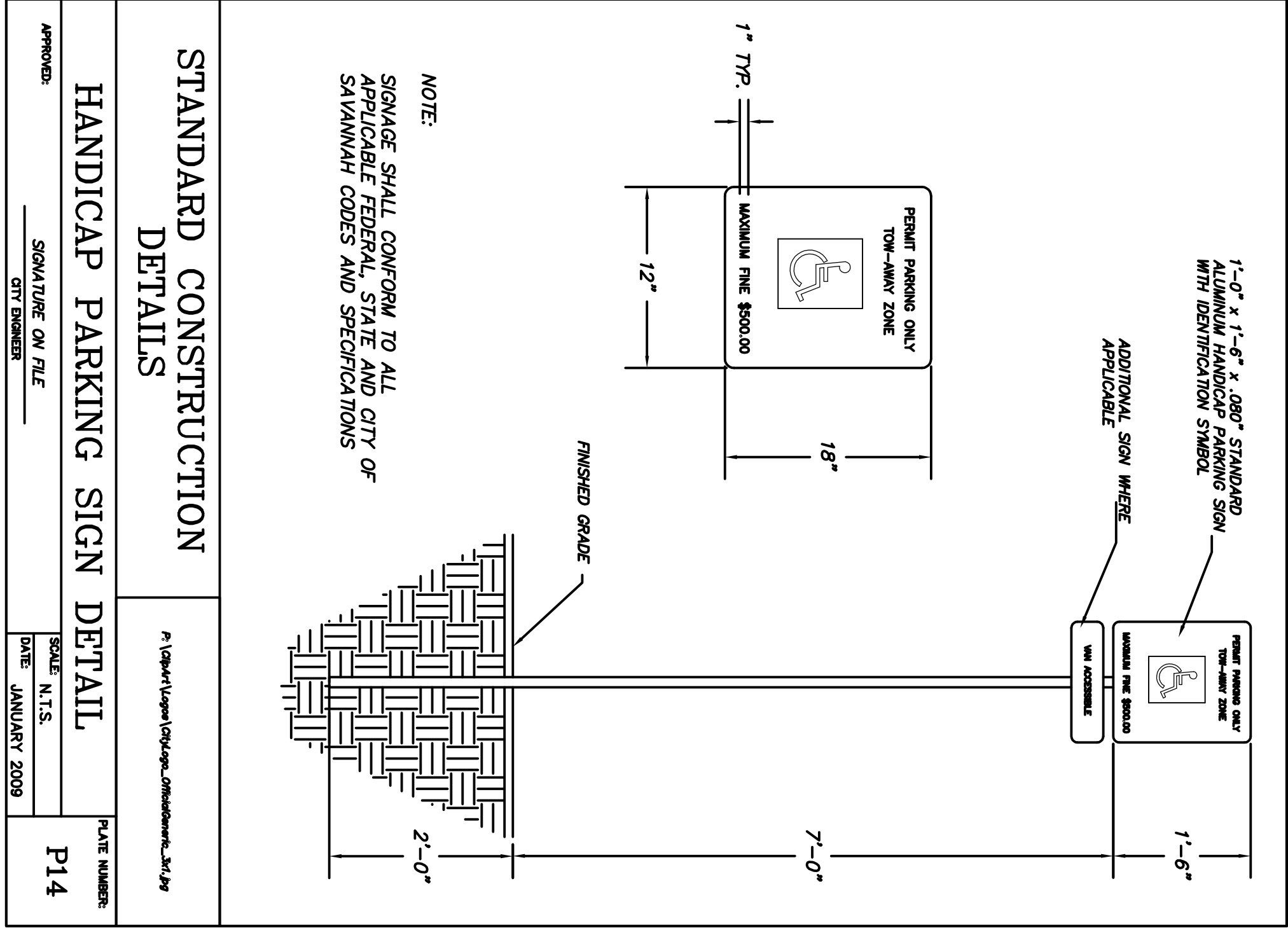
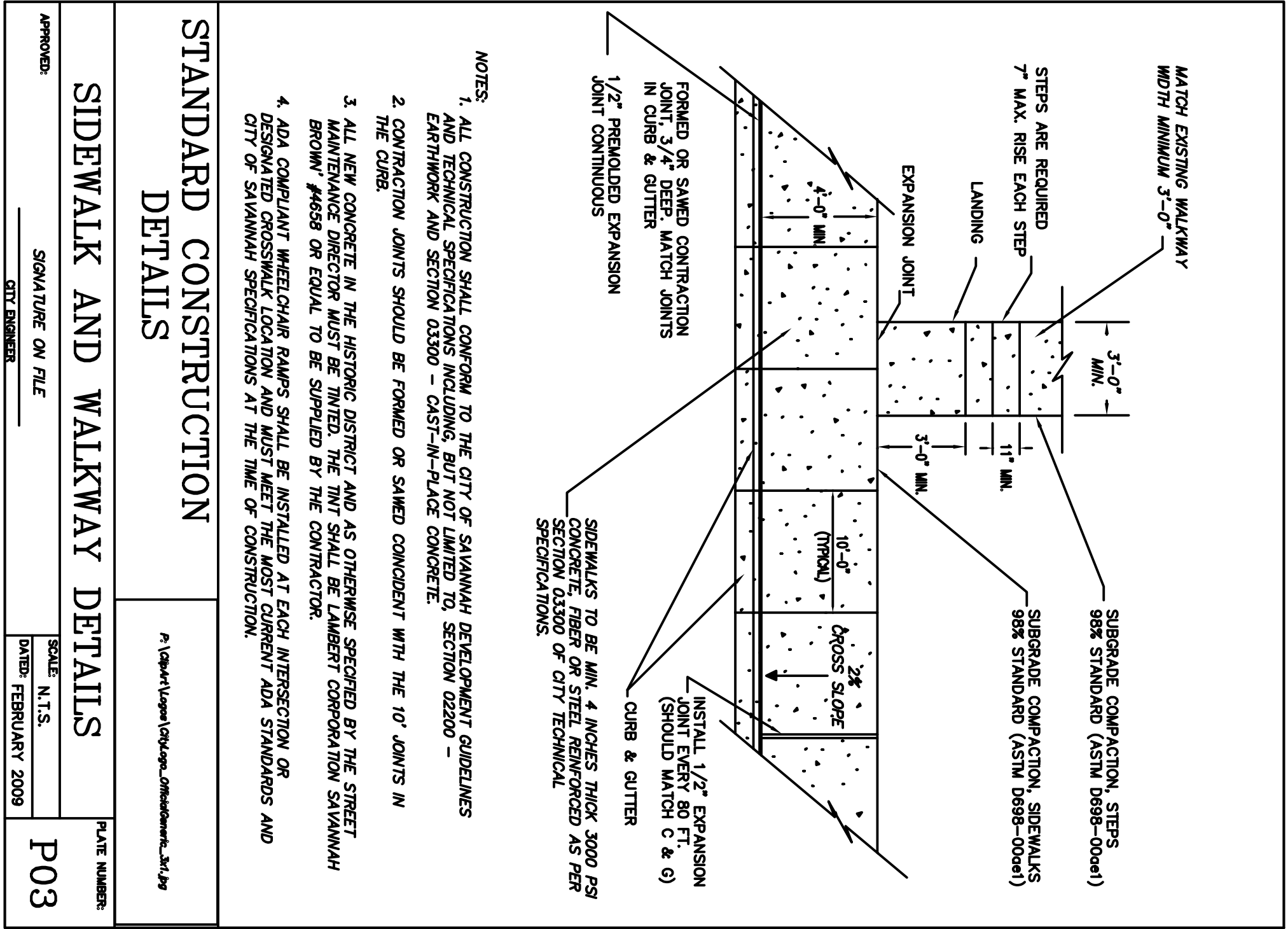
DATE: 2/5/14

DRWING NUMBER: C5 OF C12

CARVER VILLAGE COMMUNITY CENTER
912 COLLAT AVENUE
SAVANNAH, GA

CIVIL UTILITIES PLAN

210 East Bay Street
Savannah, GA 31401
Tel 912.232.9402 Fax 912.232.9403



LOMINACK KOLMAN SMITH

ARCHITECTS

COASTAL

Civil Engineering

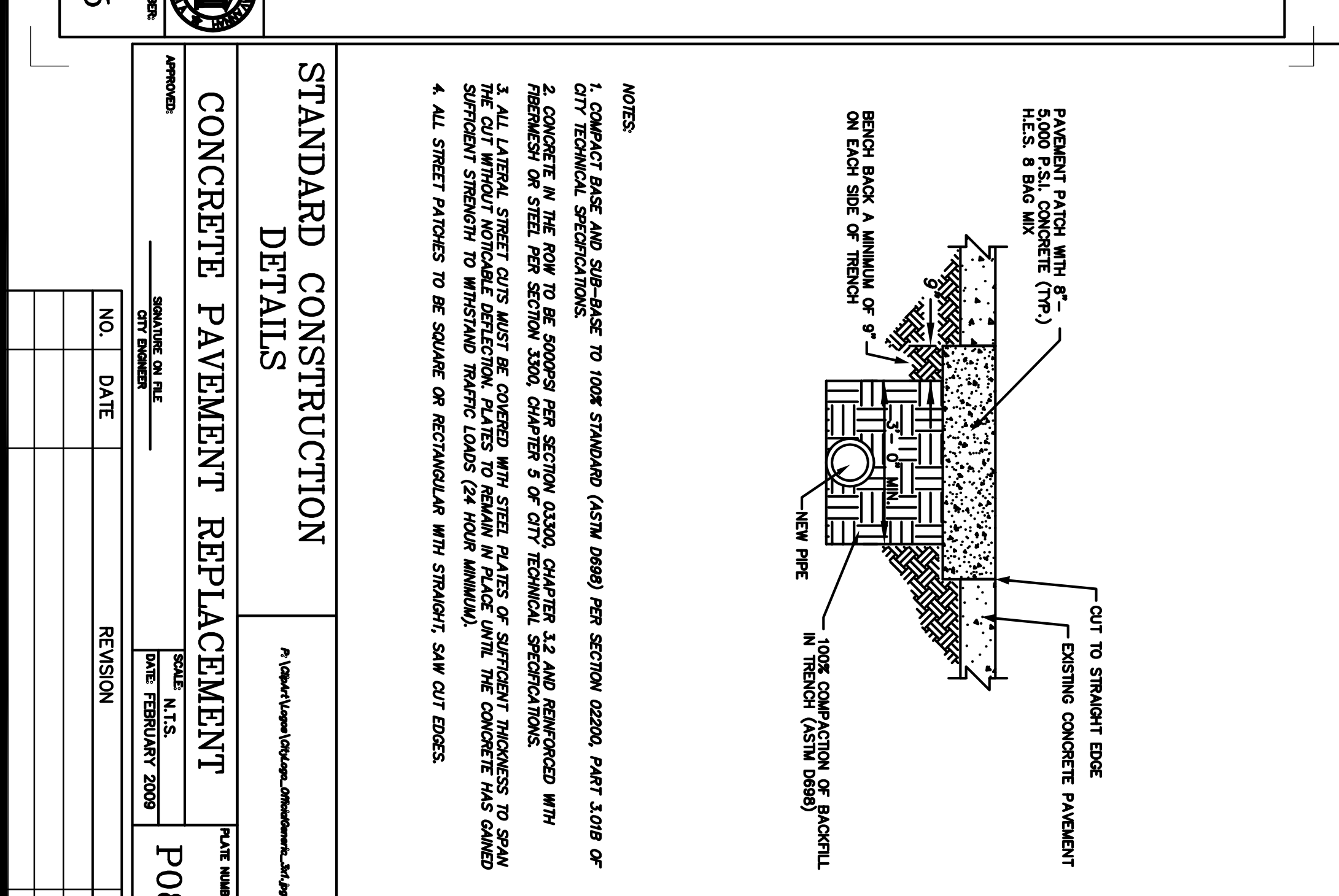
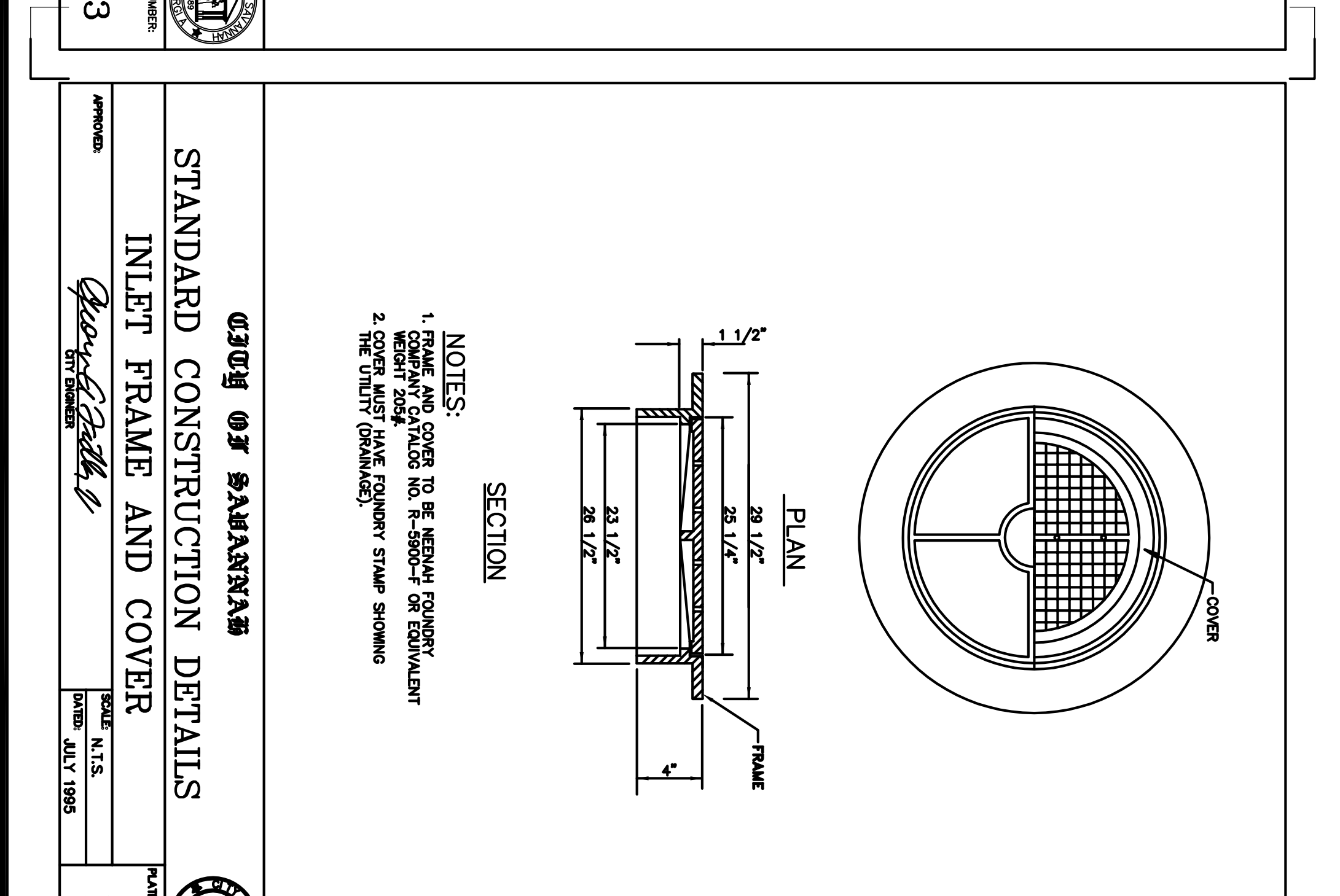
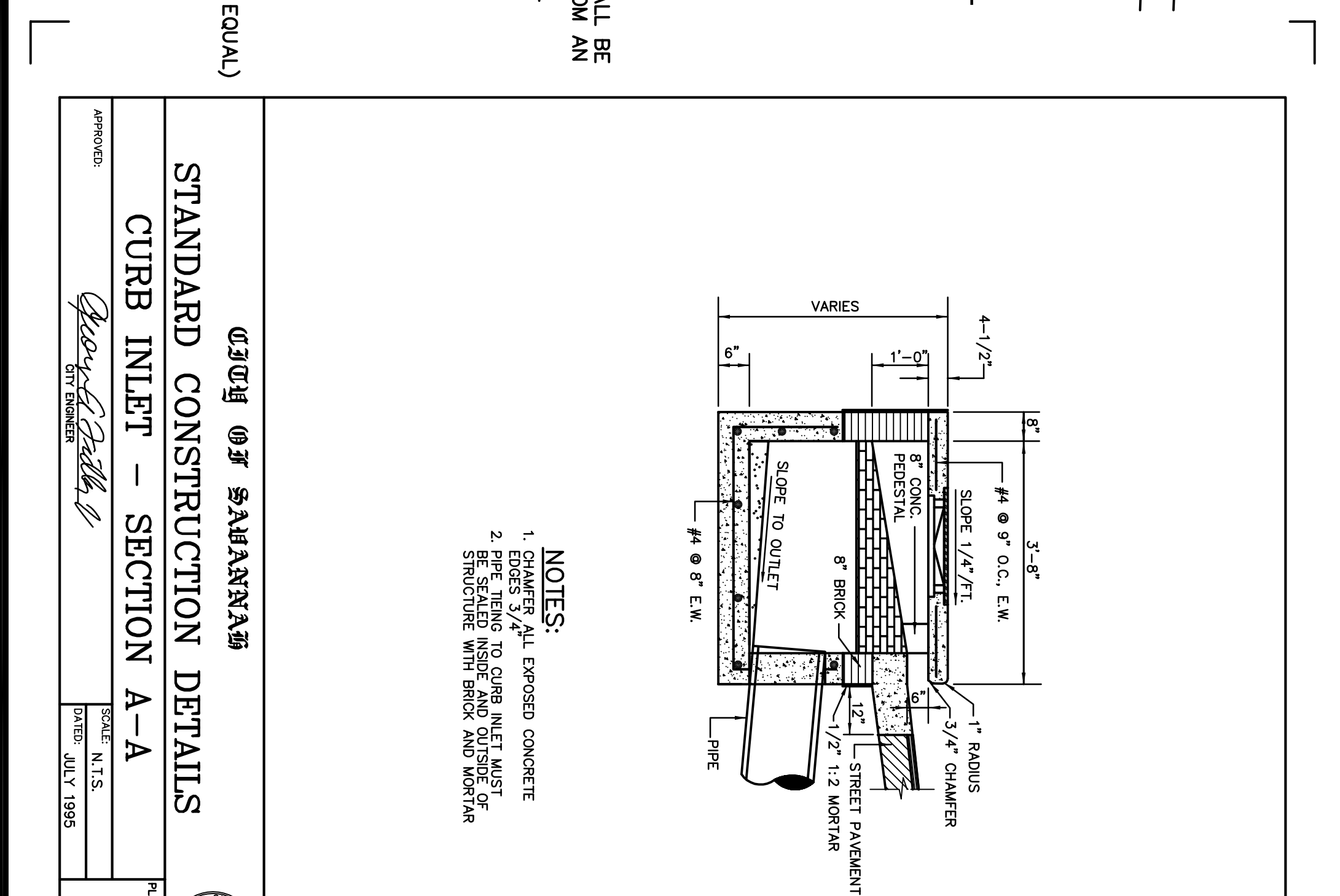
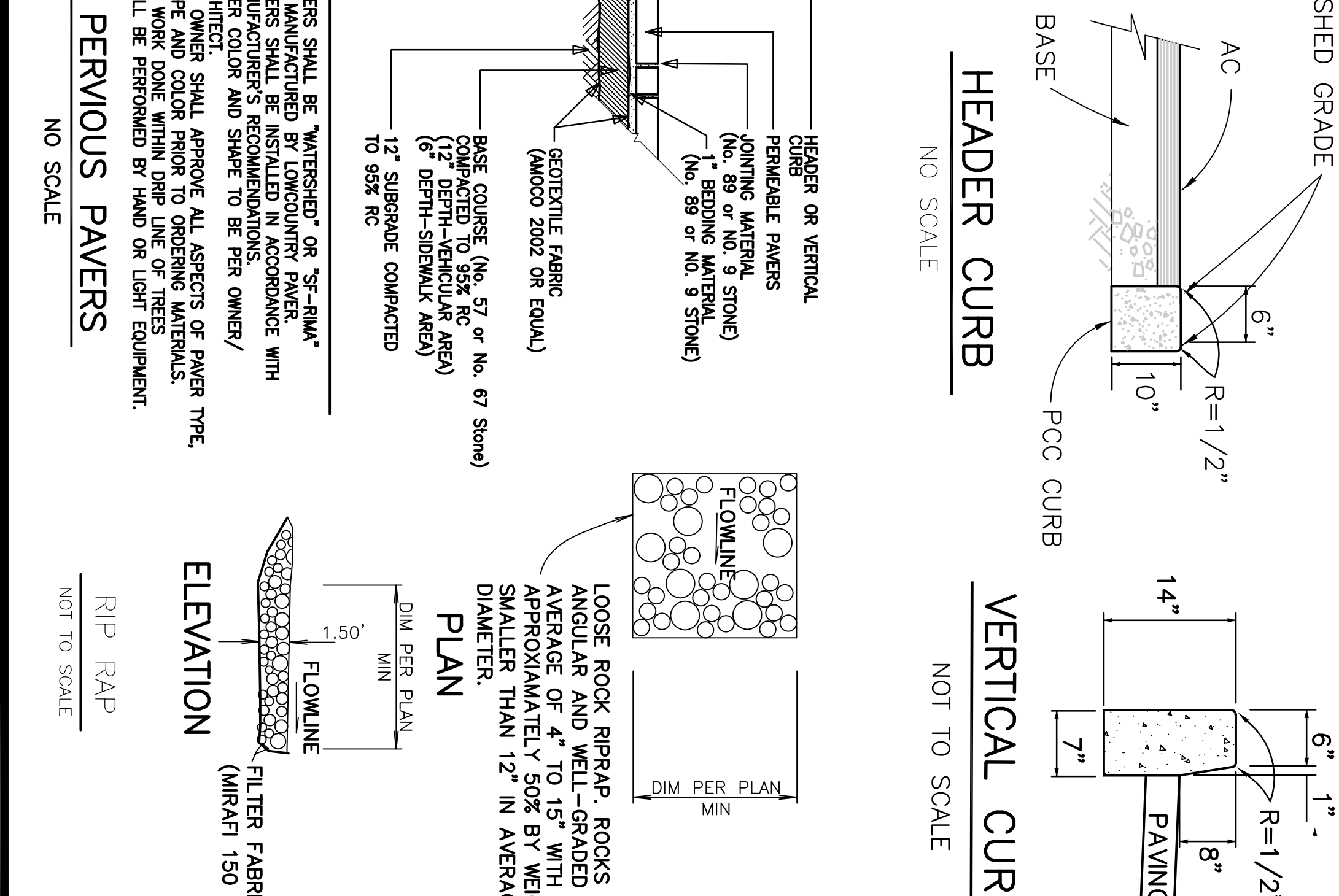
210 East Bay Street
Tel 912.232-9402 Fax 912.232-9403

GEORGIA

Professional Engineer

No. 022692

THOMAS G. HAYNES



LOMINACK KOLMAN SMITH

ARCHITECTS

COASTAL

Civil Engineering

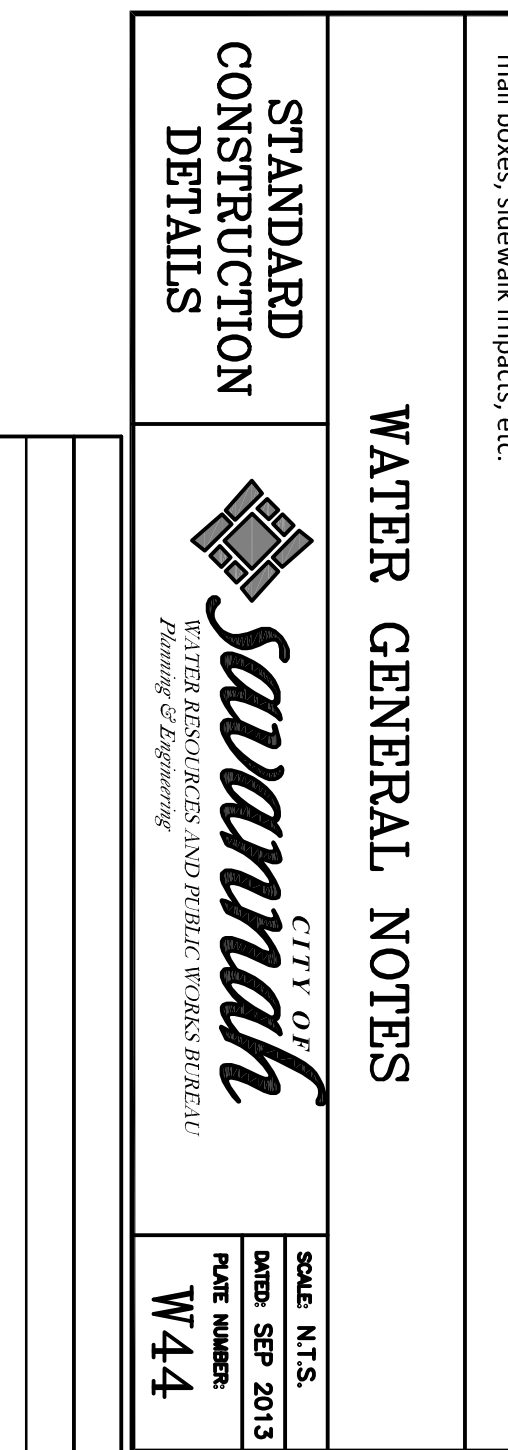
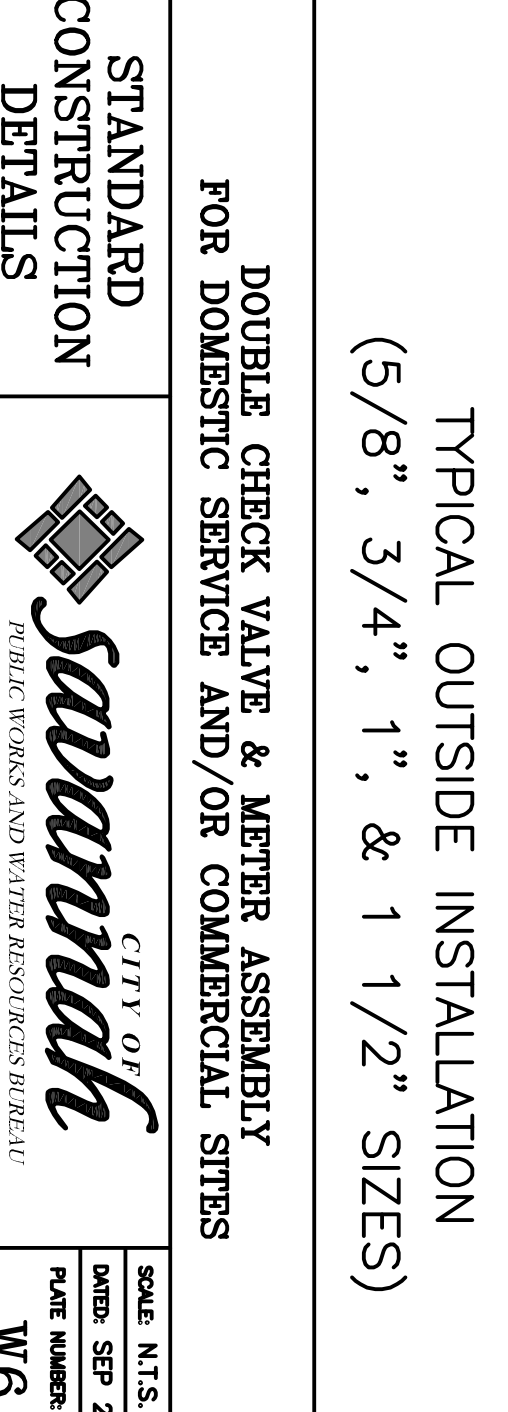
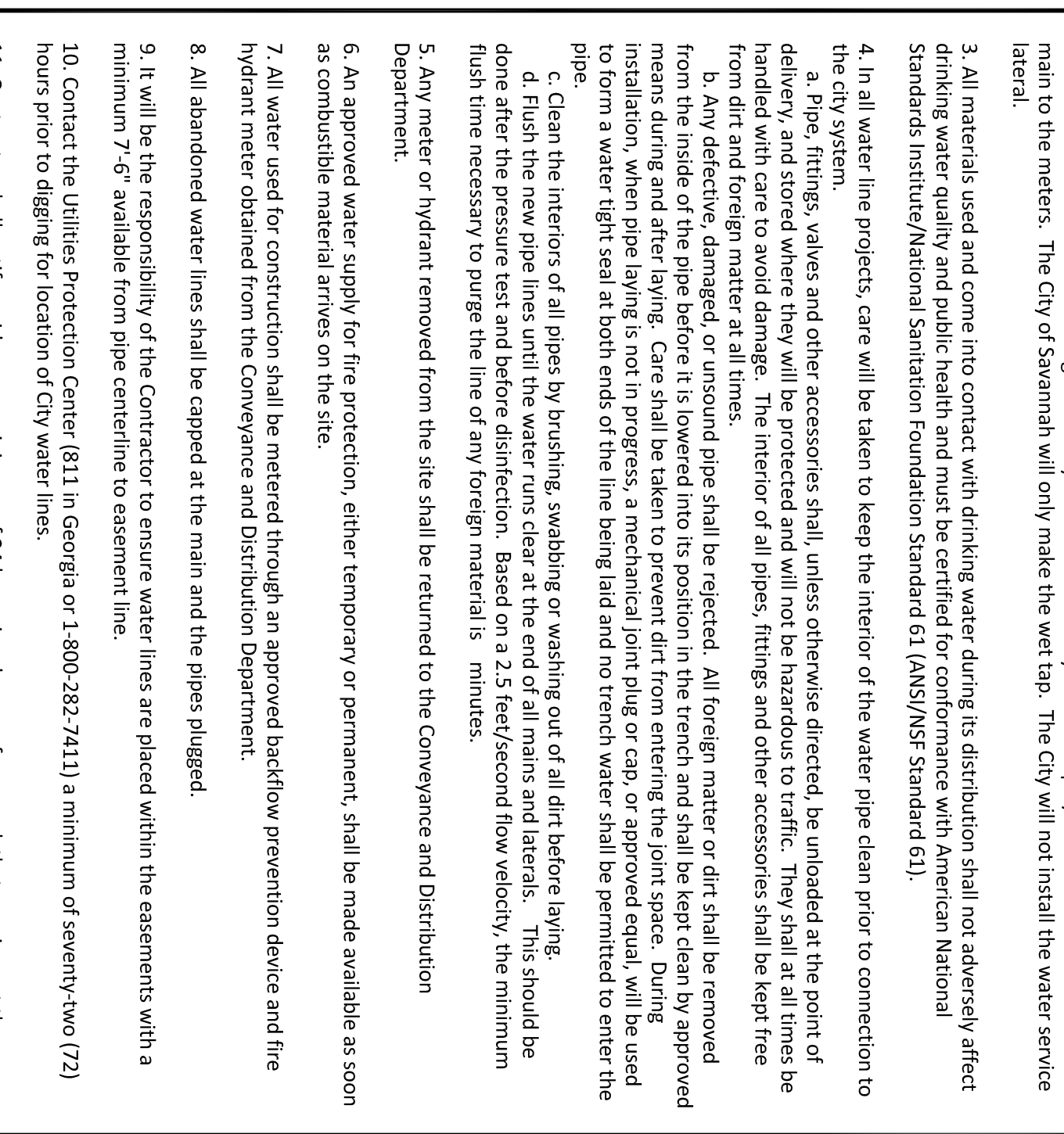
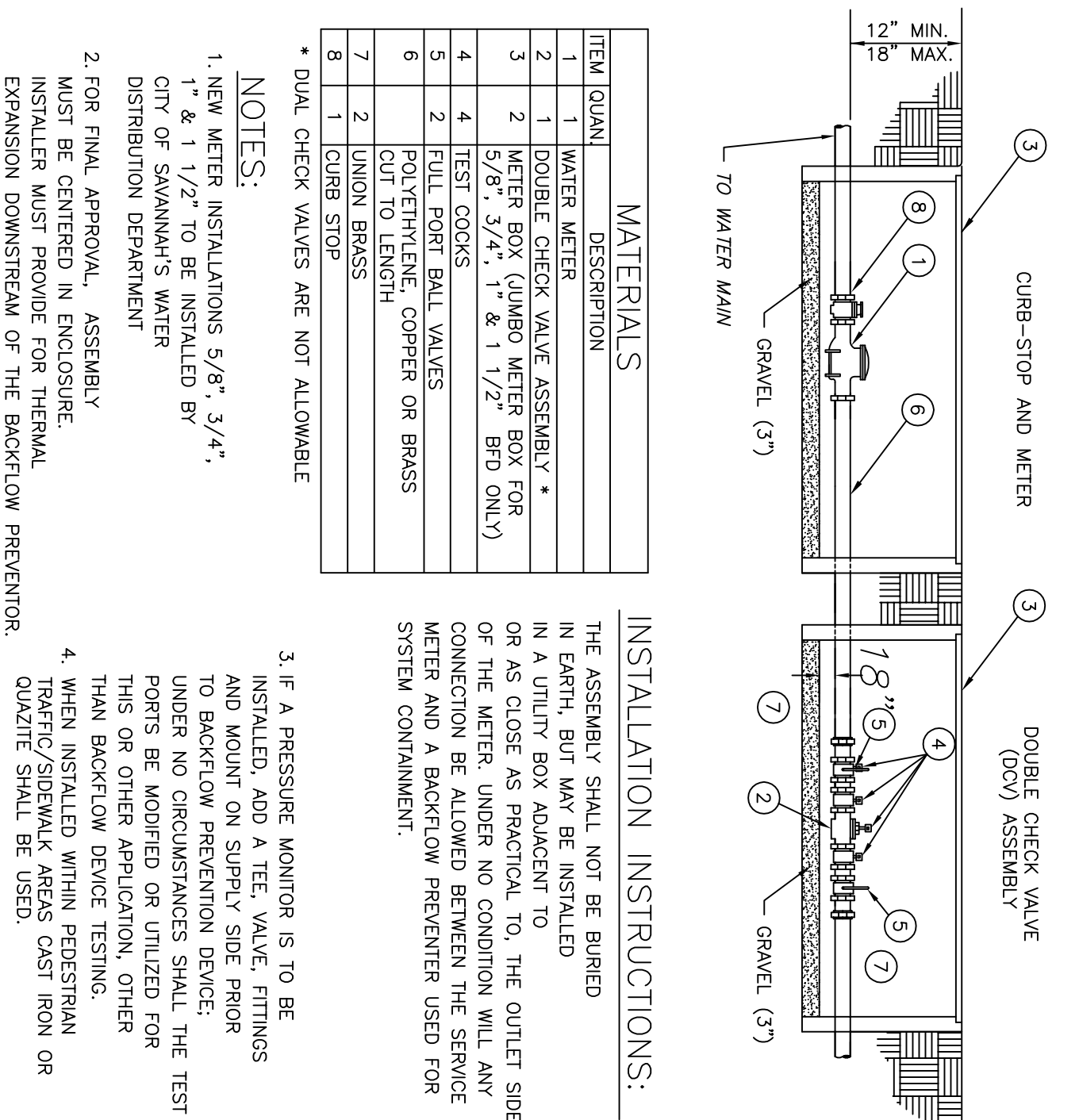
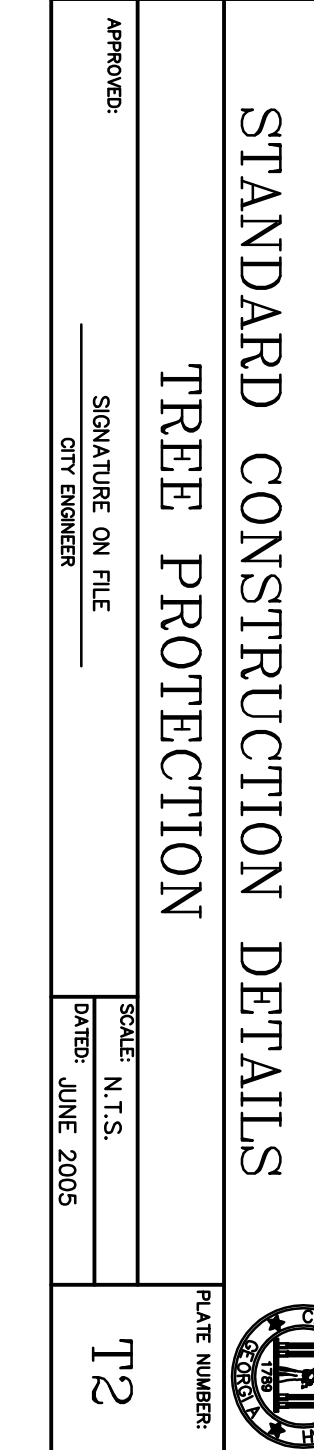
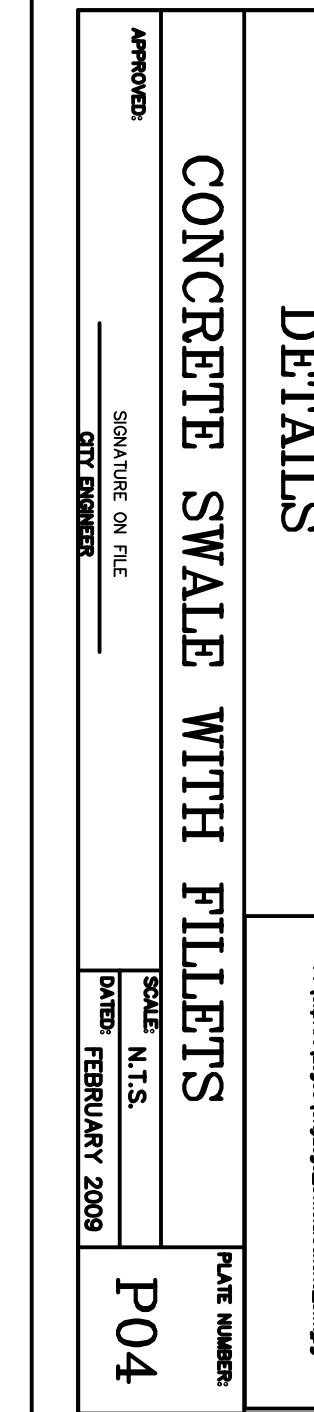
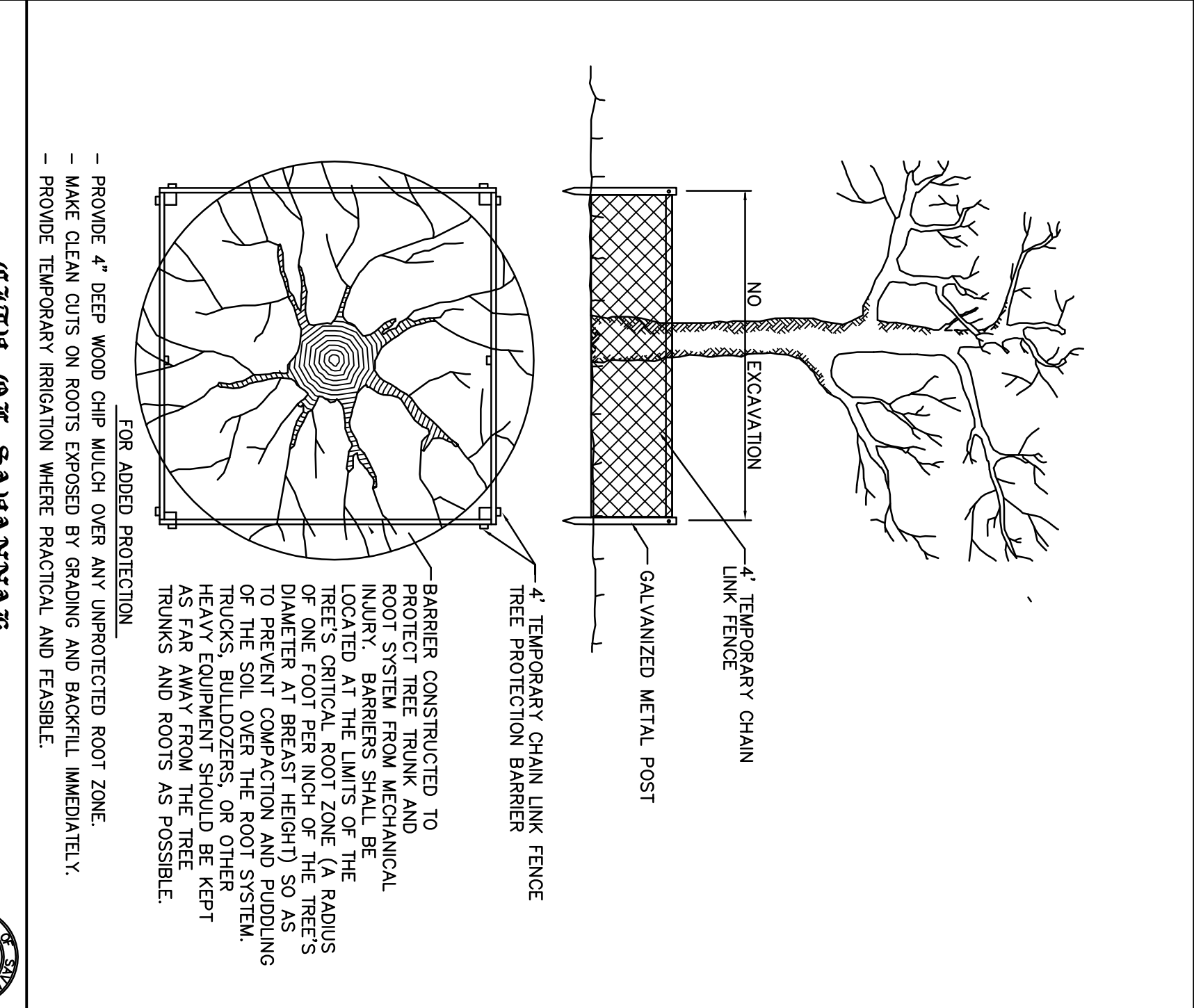
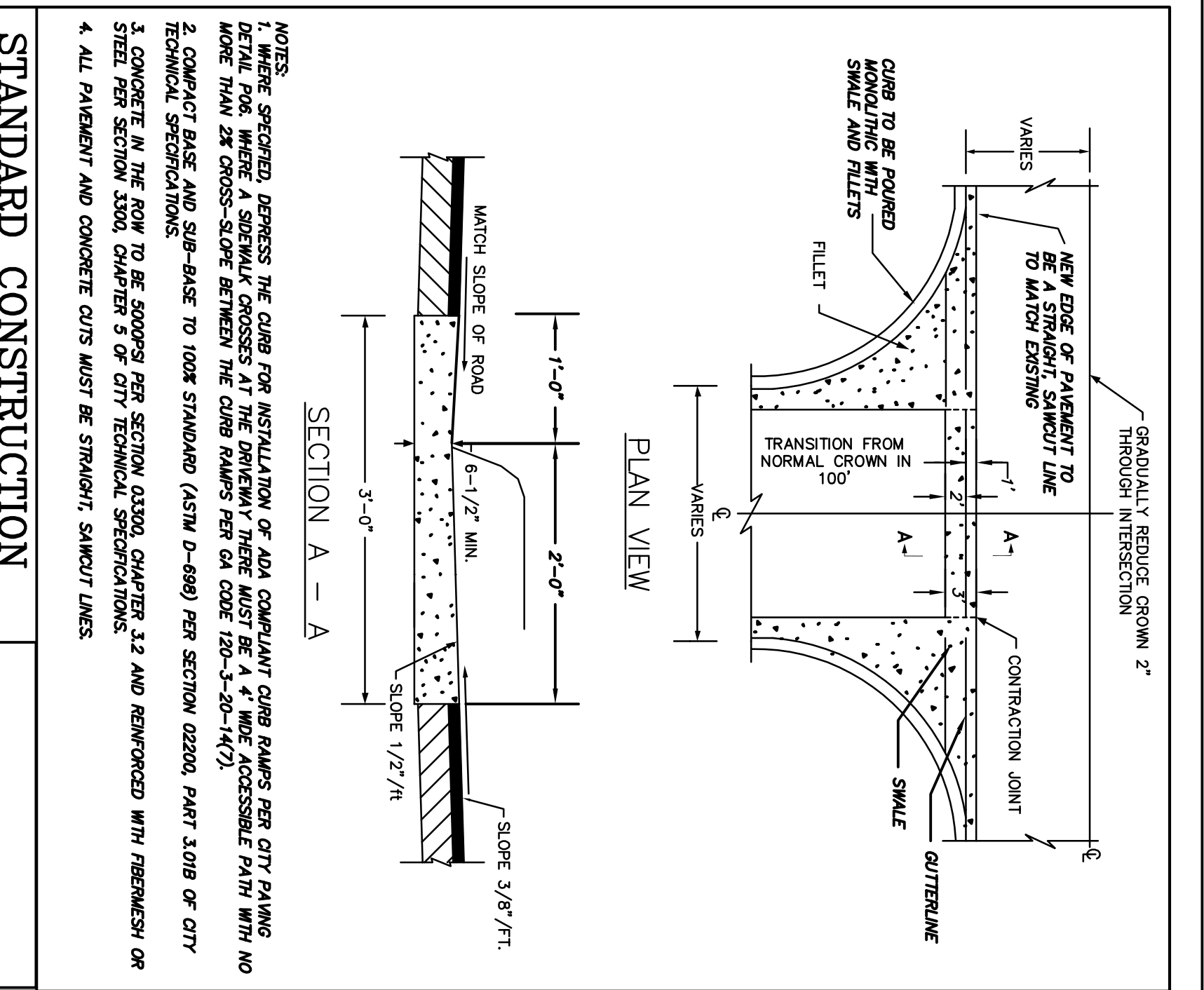
210 East Bay Street
Tel 912.232-9402 Fax 912.232-9403

GEORGIA

Professional Engineer

No. 022692

THOMAS G. HAYNES



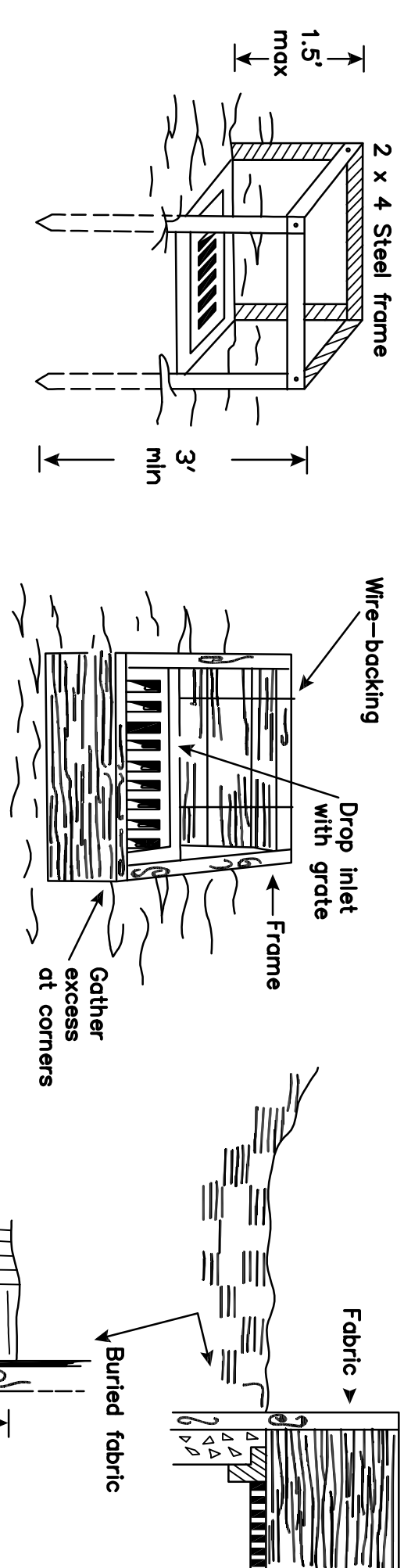
EROSION CONTROL NOTES

- Contractor shall install and maintain erosion control measures at all times. If full implementation of the approved plan does not provide for effective erosion control, additional sediment and erosion control measures shall be implemented to control or treat the sediment source.
- The scope of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with land disturbing activities.
- All grading shall be in accordance with the Georgia Department of Transportation Specifications, latest edition.
- Temporary grass seed shall be per chart below. Permanent grass seed shall be selected by the owner.
- Seed and fertilizer shall be either applied mechanically or by hydro-seeding. Hydro-seeding requires the application of fiber and stabilizing emulsion. Mechanical application shall require rolling, tamping, or otherwise working the seed and fertilizer into the soil.
- Additionally, after seeding fill slopes, straw shall be applied at the rate specified below and incorporated into the soil. In lieu of straw, the Contractor may hydro-seed disturbed areas incorporating stabilizing emulsion.

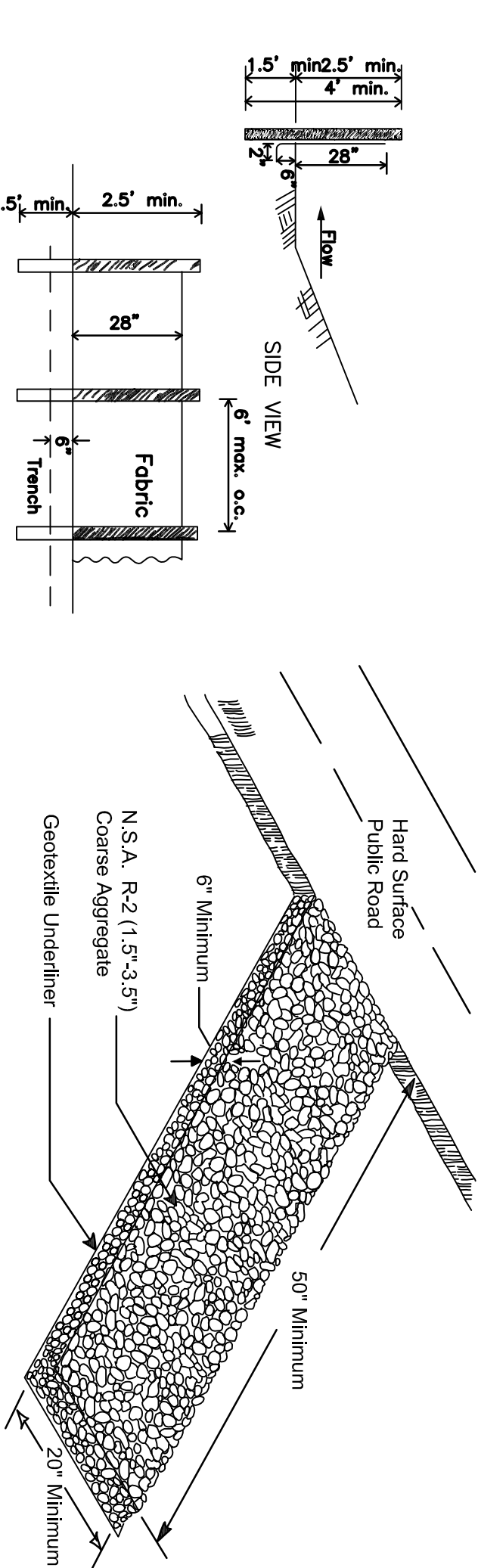
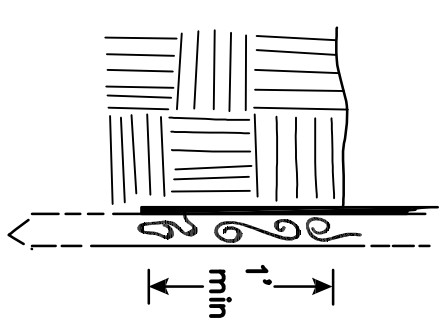
SPREAD RATE (pounds per acre)	
Item	Per table below
Grass Seed	
Fertilizer (16-20-0 &15% Sulfur)	500
Straw	4,000
Fiber (For Hydro Seeding)	500

Stabilizing emulsion (for hydro-seeding) shall be installed per manufacturer's recommendations. Emulsion shall be non-asphaltic, and derived from plants.

- Construction activities shall be scheduled to minimize erosion.
- Only disturb, clear, or grade areas necessary for construction.
- Use grooving or tracking to roughen the face of slope to facilitate vegetation establishment. Apply seed, fertilizer and straw mulch and then track or punch in mulch with bulldozer on 3:1 or steeper slopes.
- After any rainfall inspect any structure used to trap sediment and clean out or repair promptly. Inspect channels at regular intervals and after significant storms. Remove debris, if necessary and make needed repairs. Repair eroded areas promptly.
- Soils on site are Type OKC (Ogeechee-Urbon Land Complex) soils, which are in hydrologic group B/D.
- Silt fence/straw wattles shown on plans represent limits of disturbance.
- Storm water leaving the existing site flows through two existing ditches towards the Seaboard Coastline Railroad Right-of-Way.
- The first order of work shall be the erection of tree protection fencing.
- Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.
- Any amendments or revisions to this ES&PC plan which have significant impact to hydraulics must be certified by the design professional
- The project designer certifies that this ES&PC plan provides for a comprehensive system of BMP's and sampling to meet permit requirements as stated on pages 12-13 of permit.
- The design professional who prepared the ES&PC plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMP's within seven days after installation.
- Waste materials shall not be discharged into waters of the State during the course of work on this project.
- This ES&PC plan is in compliance with waste disposal and sanitary sewer regulations.
- Any petroleum spills or leaks that occur during the course of construction shall be isolated and removed immediately from the project site. Contaminated material shall be disposed of in a landfill approved for acceptance of the material.
- There are no State waters on or within 200' of the project site.
- Stormwater run off from this site is eventually received by the Savannah-Ogeechee Canal. This canal discharges into the Springfield Canal and then into the Savannah River
- The contractor shall maintain appropriate dust control (D1) in accordance with local ordinances and requirements. Dust control shall be provided by irrigation, temporary mulching (D31), temporary seeding (D32) or spray on adhesives (T1b).
- Concrete truck washing: No concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite.



FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION



SILT FENCE (TYPE A)

NOT TO SCALE

CRUSHED STONE CONSTRUCTION EXIT

NOT TO SCALE

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW BUILDING ADDITION AND PARKING LOT ONTO THE EXISTING COMMUNITY CENTER IN THE CARVER VILLAGE NEIGHBORHOOD.
THIS FACILITY WILL CONTINUE TO BE OPERATED AS A COMMUNITY CENTER.

REQUIRED INSPECTIONS

Daily Inspections Weekly or After	Weekly or After 0.5" Min Rainfall Event	Monthly
All areas where petroleum products are stored, used or handled for spills or leaks from vehicles	All areas that have not undergone final inspection	All areas that have undergone final stabilization
All locations where vehicles leave or enter the site	All materials storage areas exposed to precipitation that have not undergone final stabilization	
Rainfall for each 24-hour period	Structural control measures.	

Records of required inspections and sampling must be maintained in accordance with NPDES requirements.

TEMPORARY SEEDING

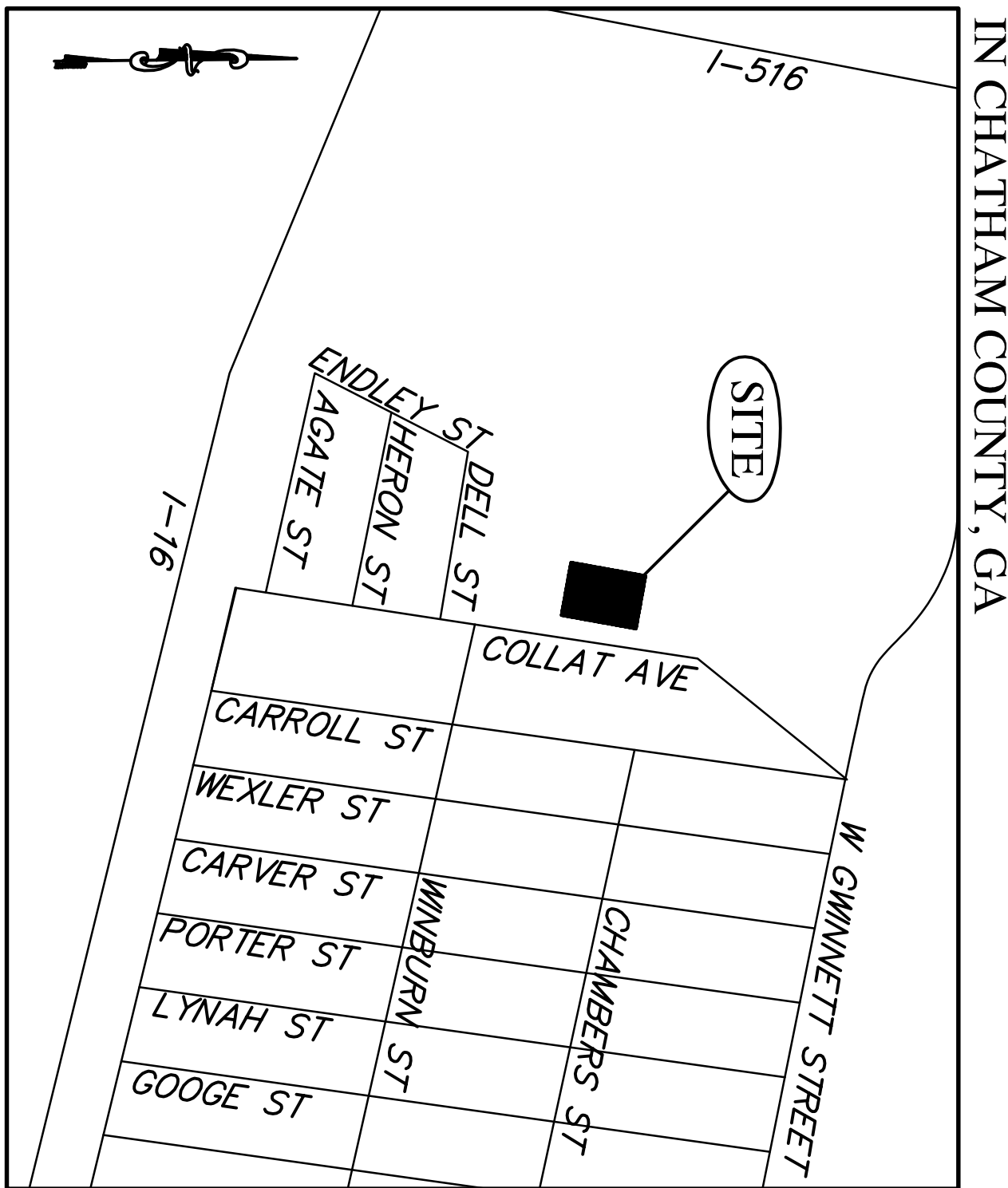
MONTH OF PLANTING	GRASS TYPE	RATE/ACRE	MIX
JANUARY	PERGRASS	40 LBS.	10 LBS.
FEBRUARY	ANNUAL LESEDEZIN RYE	40 LBS.	10 LBS. 28 LBS.
MARCH	WEEPING LOVEGRASS	4 LBS.	2 LBS.
APRIL-MAY	WEEPING LOVEGRASS BROWN TOP MILLET	60 LBS. 40 LBS.	10 LBS.
JUNE, JULY	SUDAN GRASS OR BROWN TOP MILLET	60 LBS. 40 LBS.	10 LBS.
AUGUST	PERGRASS	128 LBS.	16 LBS.
SEPTEMBER	PERGRASS OATS	180 LBS.	16 LBS.
OCT, NOV DECEMBER	PERGRASS OATS RYE, WHEAT	180 LBS.	16 LBS.

DRAINAGE DATA

DISTURBED AREA- 0.62 ac
FEMA FLOOD ZONE X
PER FIRM MAP 6050C034F
DATED 9/26/08
IMPERVIOUS AREA
PRE-PROJECT-0.03 ac
POST PROJECT-0.30 ac
PERVIOUS AREA
PRE-PROJECT-106 ac
POST PROJECT-107ac
PRE-DEVELOPMENT RUNOFF
25 YEAR VOLUME-32,934 CF
25 YEAR PEAK-7.55 CFS
POST-DEVELOPMENT RUNOFF
25 YEAR VOLUME-32,934 CF
25 YEAR PEAK-7.55 CFS
DETENTION PROVIDED
3.479 CFS

VICINITY MAP

NO SCALE



Storage Calculations

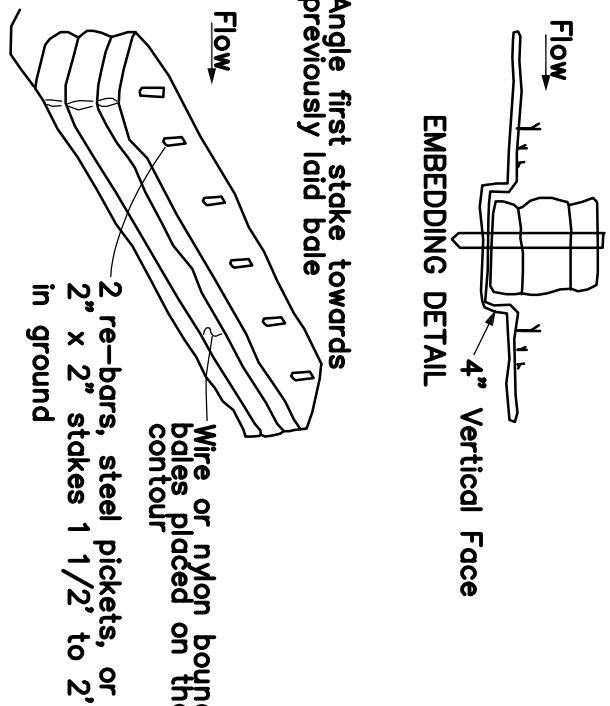
- Disturbed area = 0.62 acres
- Required sediment storage = 67 cy/ac* 0.62 ac = 41 cy
Required sediment storage = 41cy = 1,107 cf
Provided with Sediment Basin (V=Ditch)
5:1 slopes, 3' deep
V=80L x (2)/2(15)(3)
V=3,600 cf > 1,107 cf = ok

STAKED HAYBALE BARRIERS

Sd1

NOTE:
= factor and embed into soil to prevent weight or water working under barrier
= Repair or replacement must be made promptly as needed

ANCHORING DETAIL



CONTACT INFORMATION

DEVELOPER/OWNER
GREGORI ANDERSON
BUILDING SAFETY AND
REGULATORY SERVICES
1117 EISENHOWER DRIVE
SAVANNAH, GA 31406
TEL 912-201-4300

24 HOUR EROSION CONTROL CONTACT
GREGORI ANDERSON
BUILDING SAFETY AND
REGULATORY SERVICES
1117 EISENHOWER DRIVE
SAVANNAH, GA 31406
TEL 912-201-4300

TOTAL PROPERTY AREA: 1.25 ac
TOTAL DISTURBED AREA: 0.62 ac

PROPOSED SCHEDULE

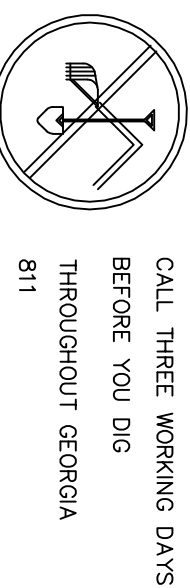
	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
Clearing and Grubbing										
Silt Fence Erection										
Site Development										
Building Construction										
Remove Temp Controls										
Final Landscaping										
BMP Maintenance										

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

I certify under penalty of law that this plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my supervision.
Thomas G Havens, PE
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 00000161162

EROSION CONTROL DETAILS

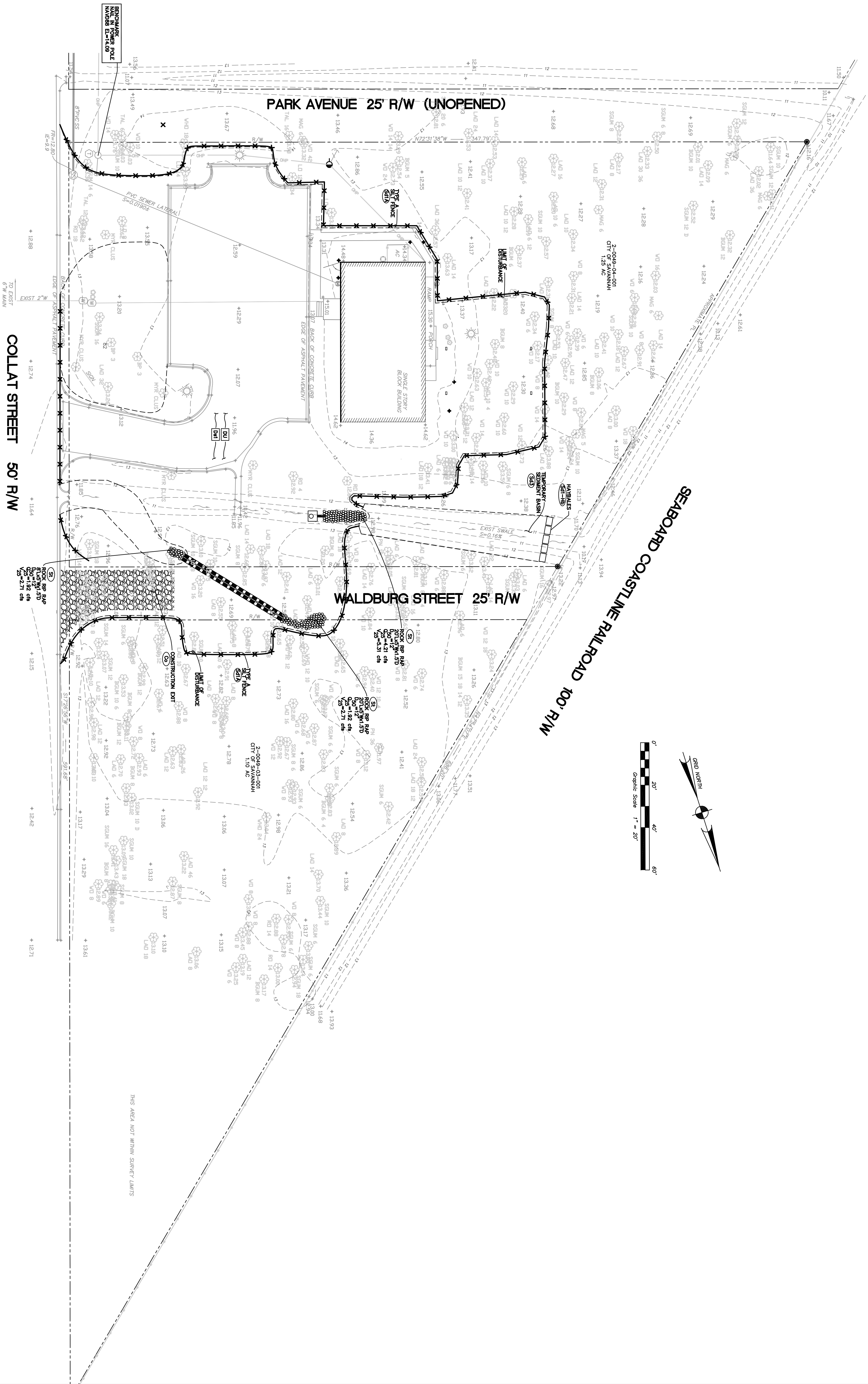
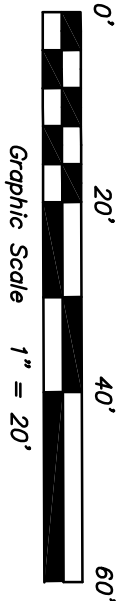
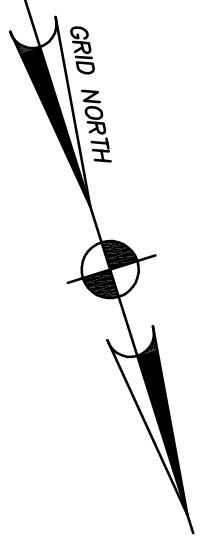
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EROSION AND SEDIMENT CONTROL PLAN PHASING

- 1 PHASE 1- INITIAL PERIMETER CONTROL - INSTALLATION OF TREE PROTECTION FENCING, CONSTRUCTION EXIT, AND PERIMETER SILT FENCING.
- 2 PHASE 2- INTERMEDIATE PHASE-INSTALLATION OF SEDIMENT BASIN, INLET PROTECTION, AND TEMPORARY GRASSING AND MULCHING, AND OUTLET PROTECTION.
- 3 PHASE 3- FINAL PHASE-INSTALLATION OF FINAL LANDSCAPING AND GRASSING. (SEE LANDSCAPE PLAN, SHEET L1).

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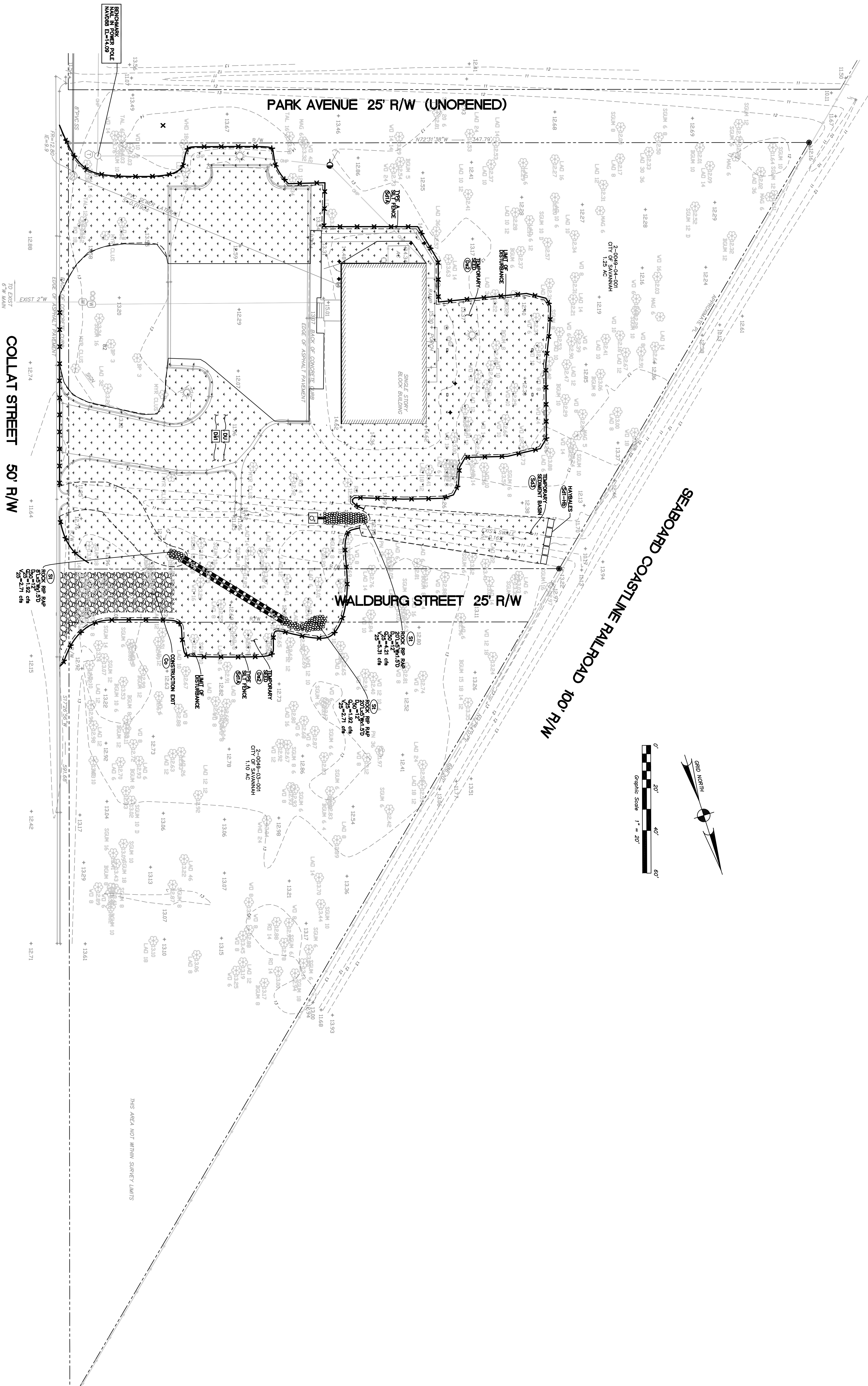
EROSION AND SEDIMENT CONTROL PLAN PHASE ONE-INITIAL PHASE

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CERTIFICATION NUMBER 00000161162



COASTAL
Civil Engineering
210 East Bay Street Savannah, GA 31401
Tel 912.232.9402 Fax 912.232.9403





EROSION AND SEDIMENT CONTROL PLAN PHASING

- 1 PHASE 1- INITIAL PERMETER CONTROL - INSTALLATION OF TREE PROTECTION FENCING, CONSTRUCTION EXIT, AND PERMETER SILT FENCING.
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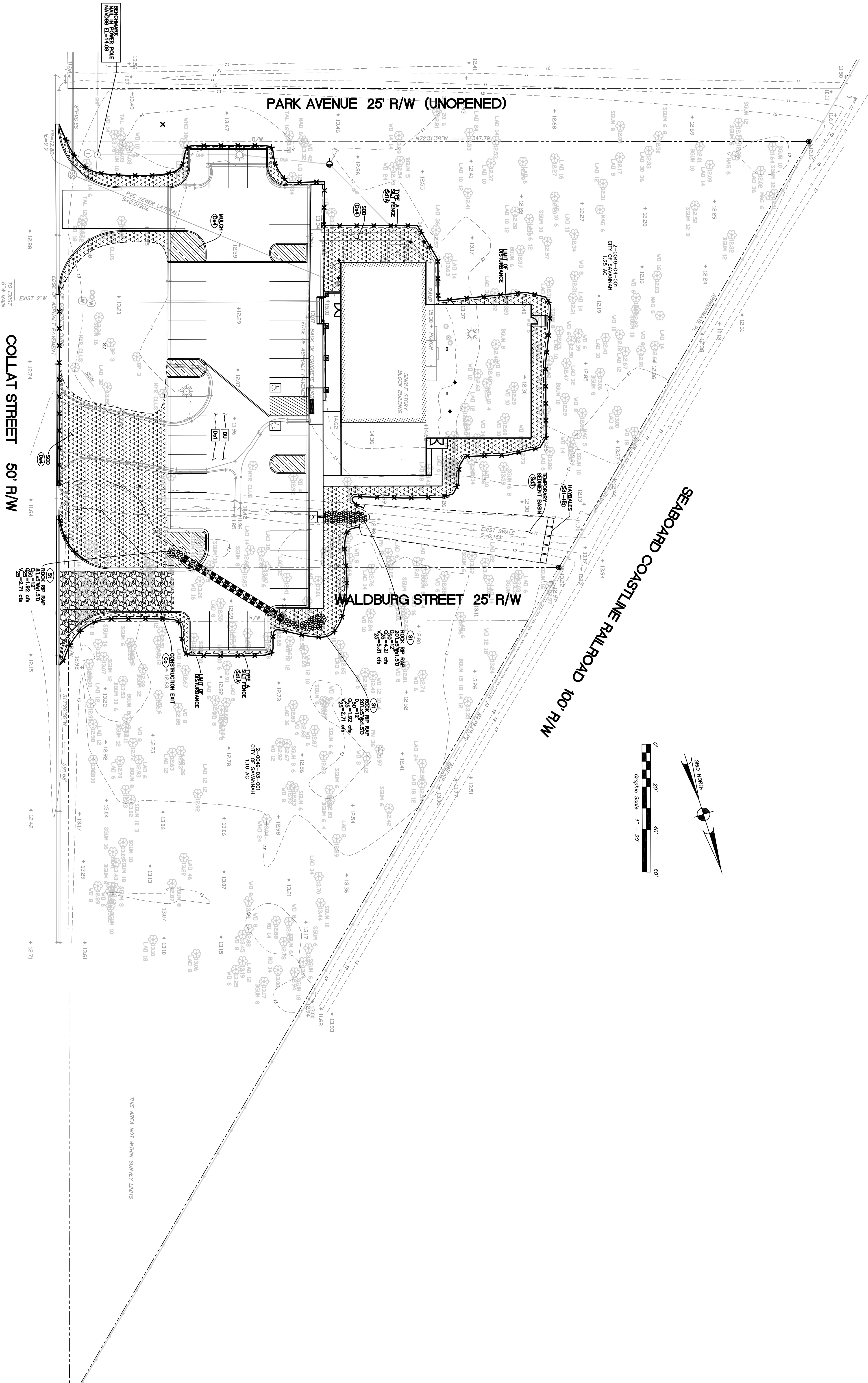
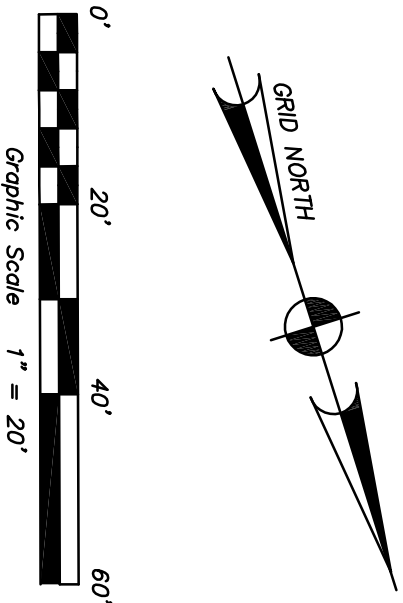
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EROSION AND SEDIMENT CONTROL PLAN
PHASE TWO-INTERMEDIATE PHASE

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EROSION AND SEDIMENT CONTROL PLAN PHASING

- ① PHASE 1 – INITIAL PERIMETER CONTROL – INSTALLATION OF TREE PROTECTION FENCING, CONSTRUCTION EXIT, AND PERIMETER SILT FENCING.
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EROSION AND SEDIMENT CONTROL PLAN
PHASE THREE–FINAL PHASE

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REQUIRED TREE QUALITY POINTS IS 2.35 AC(1600) TOP REQUIRED= 3,760
TREE QUALITY POINTS CALCULATED AS .25TOP(SQUARE FOOT OF WOODED PRESERVE AREAS)
=25(6868.05)=17,175

REQUIRED LANDSCAPE QUALITY POINTS IS 0.62 ACRE(400) LQP REQUIRED= 248
PROVIDED LANDSCAPE QUALITY POINTS=248

#	TYPE	SPECIES	DIA	LQP
(17)	TREE	CREPE MYRTLE	2" CALIPER	10
(7)	TREE	YOPURON HOLLY	2" CALIPER	10
(8)	TREE	INDIAN Hawthorne	2" CALIPER	1
TOTAL				248

REQUIRED PARKING QUALITY POINTS IS .31(1200) PARKING POINTS REQUIRED= 372
PROVIDED PARKING QUALITY POINTS (3) LIVE OAK=3(90)=450

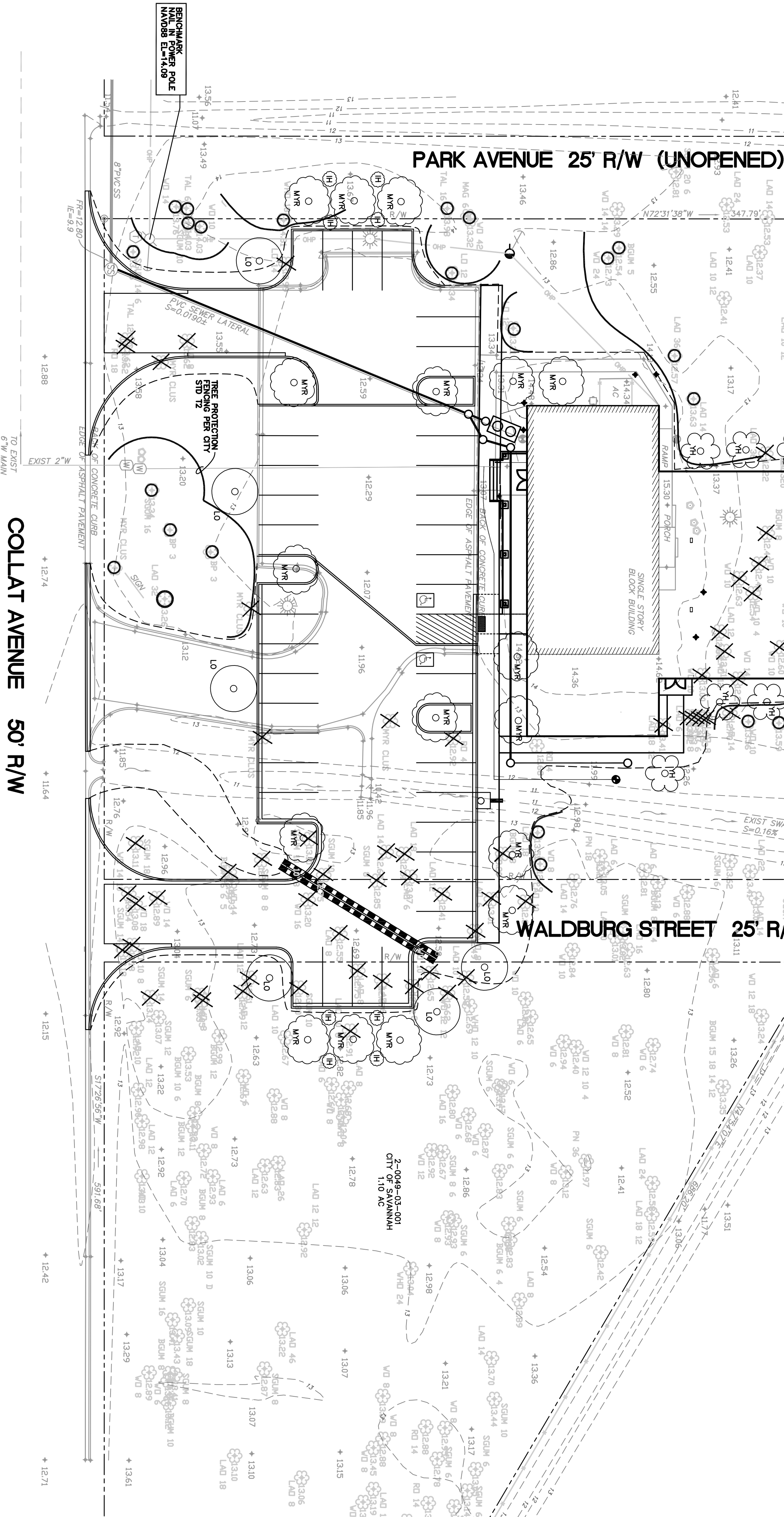
#	TYPE	SPECIES	DIA	LQP
(5)	TREE	LIVE OAK	2" CALIPER	90
TOTAL				450

SEABOARD COASTLINE RAILROAD 100' R/W

WALDBURG STREET 25' R/W

PARK AVENUE 25' R/W (UNOPENED)

COLLAT AVENUE 50' R/W



City of Savannah Park and Tree Department Tree Protection Notes

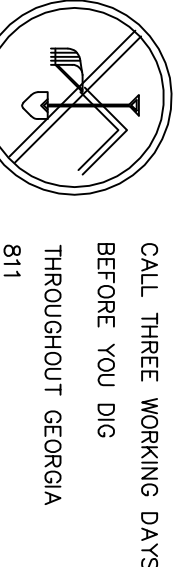
1. Tree protection shall adhere to the following standards specified in:
 - A. The Landscape and Tree Ordinance of the City of Savannah.
 - B. The Landscape and Tree Ordinance of the City of Savannah.
2. The tree protection device (unless directed otherwise by the Landscape Architect for the City of Savannah) or designed shall be a 4' temporary chain link fence constructed at and around the trunk of the tree to be protected. The fence shall be attached to galvanized metal posts spaced no further than 8' apart.
3. Tree protection devices shall be erected prior to the start of construction and shall remain in place until all site and exterior building work is completed and landscape installation has begun. Broken or dislodged tree protection devices shall be immediately repaired.
4. All designated Tree Protection Zones must be protected from the sedimentation of erosion material.
5. Site fencing shall be placed along the outer uphill edge of Tree Protection Zones at the land disturbance interface.
6. Site fencing shall be backed by 4' chain link fence in areas of steep slopes.
7. No vehicles shall be parked, or construction material stored or substances poured or disposed of or placed, within any Tree Protection Zone at any time during clearing or construction of the project.
8. No change in grade within the Tree Protection Zone shall be allowed around existing trees except the removal of trees or the installation of new trees or plants approved by the Landscape Architect for the City of Savannah or designed.
9. Trees within a Tree Protection Zone shall not be pruned or removed without prior knowledge and consent from the City of Savannah's Park and Tree Department.
10. All retained or planned trees shall be protected or staked as to prevent damage from equipment, vehicles, or stored materials. If a tree is damaged or killed, the contractor shall replace it within or immediately adjacent to the Critical Root Zone of the tree(s).
11. Any damage or injury to trees shall be reported immediately to the City of Savannah's Park and Tree Department. See Inspector at (912) 551-6510.

City of Savannah Park and Tree Department Planting Notes

1. All planting shall adhere to the following standards as specified in:
 - A. The Landscape and Tree Ordinance of the City of Savannah.
 - B. The Landscape and Tree Ordinance of the City of Savannah.
2. Plants shall be true to species and variety specified, and nursery-grown in accordance with good horticultural practices.
3. Any deviation from these plans in either species or layout must be specifically approved by the Landscape Architect for the City of Savannah or designed.
4. Plants shall conform to the measurements specified on the approved plan(s).
5. Contractors are responsible for inspection of existing conditions and must promptly report any discrepancies.
6. No large or medium tree species shall be planted within 10 feet of any underground utility line or underneath any overhead power lines, and small tree species must maintain a minimum 5-foot separation from underground utility lines.
7. All trees shall be healthy, vigorous, with a normal habit of growth, even distribution of branches, a straight trunk which exhibits good trunk taper, with limbs not lower than four feet above the ground, dependent upon the species, and shall be free from diseases, insect infestation, mechanical damage, or other defects. Trees shall be well banded and doweled/retained when in leaf.
8. Plants shall be subject to inspection for conformity to specifications, requirements, and approval by the City of Savannah's Park and Tree Department prior to planting. Acceptance at the nursery, in which the plant is growing, prior to transplanting, does not preclude rejection at the site for just cause.
9. Trees shall be planted at proper depth or shall be rejected at time of inspection.
10. Stake trees only when necessary. Staking and guying shall follow the City of Savannah's Park and Tree Department specifications when used.
11. Landscape contractors are required to attend a pre-planting meeting with the City of Savannah's Park and Tree Department prior to the start of the project. Please contact the Park and Tree Department Site Inspector at (912) 551-6510 to set up the meeting.

THE CONTRACTOR SHALL SUPPLY A DRIP IRRIGATION SYSTEM WITH
TIMER TO WATER TREES AND SHRUBS INDICATED ON PLANTING PLAN
NO SILT FENCING SHALL BE INSTALLED WITHIN TREE PROTECTION ZONES.

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LANDSCAPE PLAN



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